



Town of Reading
16 Lowell Street
Reading, MA 01867

Andrew MacNichol
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December 4, 2023

Major Plan Change to Approved 40R **DECISION**

Project/Site: 459 Main Street
Applicant: GC Fodera Contracting, Inc.

To the Town Clerk:

*This is to certify that, at a hearing of the Community Planning and Development Commission opened on Monday December 4, 2023, and closed on **the same date**, by a motion duly made and seconded, it was voted:*

“We, the Reading Community Planning and Development Commission, upon request from GC Fodera Contracting, Inc., for a Major Plan Change to an Approved 40R Development, for the property located at 459 Main Street (Assessors Map 17, Lot 62) for a change in the building envelope, a reduction in the number of housing units, a reduction in parking, and other site modifications as shown on the architectural plans prepared by Context, LLC and the site plans prepared by Fodera Engineering, and listed below, do hereby vote **XXX**, to **approve** the project under Section 10.5.13 of the Reading Zoning Bylaw, subject to the Findings and Conditions below.”

Materials Submitted:

The following materials were submitted into the public record:

1. Certified List of Abutters, dated 11/16/23;
2. Legal Notice, published in the Daily Times Chronicle on 11/21/23 and 11/27/23;
3. Original Decision of Approval, dated 9/12/22;
4. Proposed 40R Development, 459 Main Street, Reading, MA, Architectural Design and Plan Set, prepared by Context, LLC, consisting of Sheets 1 through 20, dated 9/14/23, including:
 - a. Sheet A-02: Proposed Site Plan
 - b. Sheet 2 through 4: Shadow Renderings (Summer, Autumn/Spring, Winter)
 - c. Sheet A-10: Proposed Plan, Ground Floor
 - d. Sheet A-11: Proposed Plan, 2nd Floor
 - e. Sheet A-12: Proposed Plan, 3rd Floor
 - f. Sheet A-13: Proposed Plan, Roof
 - g. Sheet A-20: Proposed Wall Sections, East-West and North-South
 - h. Sheet A-30: Proposed Elevations, West (Main St) Elevation and Southwest Elevation
 - i. Sheet A-31: Proposed Elevations, South (Washington St) Elevation and East Elevation
 - j. Sheet A-32: Proposed Elevations, North Elevation
 - k. Sheet A-33: Proposed Elevation Materials

1. Sheets 14-20: Proposed Landscape Planter Specs and Details
5. Proposed 40R Development, 459 Main Street, Reading, MA, Civil Design Plan Set, prepared by Fodera Engineering, including:
 - a. Sheet C-1: Existing Conditions Survey Plan, dated 12/1/21;
 - b. Sheet C-2: Proposed Site Plan, dated 12/1/21 and most recently revised 9/14/23;
 - c. Sheet C-3: Proposed Utility Plan, dated 12/1/21 and most recently revised 9/14/23;
 - d. Sheet C-4: Details Sheet, dated 12/1/21 and most recently revised 9/14/23;
 - e. Sheet C-5: Details Sheet, dated 12/1/21 and most recently revised 9/14/23;
6. Summary of Project Changes, received 11/6/23:
7. Draft Major Modification Decision, dated 12/4/23.

Zoning Bylaw Section 10.5.13 – Plan Changes After Approval by Approving Authority

10.5.13.1 Minor Plan Changes

After Plan Approval, an Applicant may apply to make minor changes in a Development Project involving minor utility or building orientation adjustments, or minor adjustments to parking or other site details that do not affect the overall build out or building envelope of the site, or provision of open space, number of housing units, or housing need or affordability features. Such minor changes must be submitted to the Approving Authority on redlined prints of the approved plan, reflecting the proposed change, and on application forms provided by the Approving Authority. The Approving Authority may authorize such changes at any regularly scheduled meeting, without the need to hold a public hearing. The Approving Authority shall set forth any decision to approve or deny such minor change by motion and written decision, and provide a copy to the Applicant for filing with the Town Clerk.

10.5.13.2 Major Plan Changes

Those changes deemed by the Approving Authority to constitute a major change in a Development Project because of the nature of the change in relation to the prior approved plan, or because such change cannot be appropriately characterized as a minor change as described above, shall be processed by the Approving Authority as a new application for Plan Approval pursuant to this Section 10.5.

Findings:

1. **Original Approval:** On September 12, 2022 the CPDC approved a 40R Plan Review for a 4-story mixed-use building proposed with residential units, ~1,455 square-feet of commercial space and an at-grade garage with 20 parking spaces, at 459 Main Street (Assessors Map 17, Lot 62). The project was proposed at 12 units, and requested a waiver to allow a site density of 51 units/acre where 20 units/acre is allowed by-right. This waiver request was denied by the CPDC thus approving the project under the condition of a by-right maximum unit count of 5 residential units.
2. **Proposed Modifications:** Based on findings that the approved density is not financially feasible the Applicant is proposing a series of modifications to the building envelope, a reduction in unit count, a reduction in on-site parking, and additional modifications to the building design/material, landscape and access.
 - a. **Building Envelope:**
 - i. **Height:** The previous building design was approved at a full four-stories and 45' to parapet. The proposed modifications reduce the building height to 3-stories and maximum height of 42' 10" to parapet. It should be noted that the building utilizes a stepped parapet at the Main Street elevation; the eastern and

northern façades, where the project site directly abuts residential uses, utilizes a flat roof and parapet design measuring 39'10".

An elevator shaft, condensers and headhouse will be located on the roof but do not account towards the height definition. All shall be centrally located on the roof and be screened through the parapet/cornice designs as well as partition walls on the roof.

ii. **Setbacks:**

1. **North:** The original approval included a 3'6" setback from the northern property line. This setback is substantially maintained in the modified proposal, though the northern stairwell does encroach into this setback for a length of 8'.
2. **East:** The original approval included a 16' setback from the eastern property line. The modified proposal increases the setback to 17'6" in the northeast corner of the site, for a length of 18', where the building envelope is then further setback to 26' from the property line.
3. **South:** The original approval included a variable setback from the southern lot line due to the building envelope and outdoor seating areas. A variable setback has been maintained, ranging from 9.5" to 5'10". Deeper setback areas will be utilized for residential lobby access, landscape planters and bicycle parking.
4. **West:** The original approval included a variable setback from the western lot line due to the building envelope and outdoor seating areas. A variable setback has been maintained, ranging from 9.5" to 5'10". Increased setback areas will be utilized for commercial lobby access and landscape planters.

iii. **Step-backs:** Due to the 4-story original approved building, varying step-backs were required at the 2nd and 4th floor levels. The proposed modification reduces the building to 3-stories and increases setbacks from the eastern lot line, no upper-level building step-backs are proposed.

- b. **Unit Count:** The original proposal included 12-units and was approved under the condition of 5-unit maximum. The proposed modification adjusts the proposed unit count to 10 total units, all of which will be 2-bedroom units.
- c. **Parking:** The original approval included 20 parking spaces (4 of which were deemed Compact Spaces) shared across the residential and commercial uses, where 15 parking spaces were required. The proposed modifications reduce on-site parking to 18 parking spaces, where 15 spaces are required, which includes: 2 ADA accessible spaces, 12 spaces dedicated to residential use, and 4 spaces dedicated to commercial/visitor use. All parking spaces shall be standard sized 8'6" x 18' and 5 total spaces shall be designed with 'EV Ready' infrastructure.

A series of bicycle parking racks are to be installed at the garage entry, site exit and at the residential lobby entry along Washington Street.

As originally approved a loading zone is to be striped within the garage and directly abutting the commercial partition.

- d. **Access and Circulation:** Access and circulation remains one-way, entering from Main Street and exiting onto Washington Street. 'Right Turn Only' signage will be

installed at the site exit and striped within the lot to discourage left-hand turns at exit. Drive aisles are maintained at 26' wide.

- e. **Materials and Design:** The original approval included a combination of light-colored masonry, blue ship-lap siding, patina finishes, and green salted shingles at the roof level. Building materials have been modified to a more muted design that reflects the abutting building at 475 Main Street. Plank-lap siding will be brown/gray in color, red masonry brick will be utilized at the first-floor level and upwards on the projecting bays fronting Main Street, gooseneck lighting will be provided at the first-floor level, and wood paneling will be used for the commercial storefront. As opposed to the original proposal, windowing is now proposed along the northern façade for lighting and visual relief.
- f. **Balconies:** Balconies remain varied in sizes but each unit is provided balcony space. Consistent with the original proposal, no balconies are located on the north façade.
- g. **Landscaping and Screening:** The original approval included landscape at the retail entry and parking lot exit. The proposed modifications include a series of landscape planters/beds to be installed along the Main Street and Washington Street building façade. Planters will vary in length and depth but shall utilize living, native species. The original approval also included an 8' fence along the eastern property line. The proposed modifications reduce the fence height to a 6' wooden stocked fence. The existing street tree on Main Street shall be maintained, relocated or replaced as found necessary by the Tree Warden.
- h. **Building Access:** The original approval included residential access on both Main Street and Washington Street, as well as from the garage; and two commercial entries were located at Main Street and Washington Street. The proposed modifications include one residential entry off of Washington Street and one in the parking area. A single commercial entry is provided along Main Street, though there will be access from the garage for employees.
- i. **Drainage & Utilities:** The original approval included roof leaders for the majority of the site with treatment prior to discharge into the sewer. The proposed modifications reduce building coverage and the open parking area will be graded to direct flow to a catch basin tied to the infiltration system. Roof leaders remain for the structure and an overflow basin is located to the south of the site. The underground infiltration systems remain as originally sized. The original approval also included a basement utility room. The proposed modifications remove the basement as a utility room is provided in the garage. All proposed utilities are to be underground and are subject to review and approval.
- j. **Trash Removal:** The original proposal included a trash room within the garage and close to Main Street. The proposed modifications propose the trash area in the northeast corner of the site and to be screened by a 6' wood fence. Trash and recycling is to be managed by private entities and language detailing how trash and recycling will be managed on-site shall be described within the property management documents.

Waivers pursuant to Section 10.5.12 and DSGD Design Standards & Guidelines:

Upon request of the Applicant, the Commission, in the interests of design flexibility and overall project quality, and upon a finding of consistency of such variation with the overall purpose and

objectives of the DSGD and the Reading Master Plan, or if it finds that such waiver will allow the project to achieve the density, affordability, mix of uses and/or physical character allowed. The Commission shall take into consideration the following items when considering a waiver:

1. High performance energy efficient buildings and construction methods.
2. Projects with publicly accessible open space.
3. Projects that include retail and restaurants located on street level.
4. A demonstrated shared parking initiative that makes efficient use of land and existing parking supply.
5. The preservation or rehabilitation of historic properties or other buildings considered significant to the Town.

The Applicant has requested the following waivers from ZBL Section 10.5 in addition to those approved within the 9/12/22 Decision of Approval:

1. **Project Density:** The Applicant requests a waiver to allow for a site density of 42.6 units/acre, where 20 units/acre is allowed by right. This represents a 16.5% reduction from the original waiver request of 51 units/acre as the project has been reduced from 12 units to 10 units.
2. **Design Guidelines Section 7.5.5:** The Applicant requests to waive the recommendation that there be a change in materials that is also accompanied by change in plane (vertical or horizontal), specific to the north façade. The proposed modifications include a change of material, from masonry at the first-floor level to clap-board material at the residential levels above, and windowing along the north façade. A change in plane, either vertical or horizontal, is not proposed.

The Applicant has withdrawn and rescinded the following waiver requests previously approved:

1. **Parking Dimensions:** A waiver was previously granted to allow for 4 Compact Parking Spaces at 8' wide, where 8'6" is required. This waiver has been rescinded as the modified proposal does not include any Compact Parking Spaces.
2. **Garage Drive Aisle Width:** A waiver was previously approved to allow for 24' wide drive aisles, where 26' is required. This waiver has been rescinded as the modified proposal includes standard 26' wide drive aisles.

Conditions:

General:

- 1) **Plan Modification:** Upon approval of a Major Plan Change, the Applicant shall submit one (1) paper copy and one (1) electronic copy, in a format acceptable to the Building Inspector, of the modified plan, as well as a letter issued by a registered professional engineer, registered architect or registered landscape architect certifying, under pains and penalties of perjury, that the modified plan is consistent in all aspects with the approved modification and that all conditions of approval have been satisfied.
- 2) **September 12, 2022 Approval:** All conditions listed in the 9/12/22 approval remain in full force and effect to the extent that they are not rendered obsolete by the Major Plan Change herein.
- 3) **Signage:** No signage is approved herein. Prior to installation of any building or tenant signage, a Sign Permit Application and/or Master Signage Plan shall be submitted for review and approval.

Prior to the Start of Construction:

- 1) **Other Permits:** The Owner/Applicant is responsible for meeting all other requirements and obtaining all other permits as needed including but not limited to: Order of Conditions from the Conservation Commission, utility connections, street opening, and Jackie’s Law excavation permits from the Engineering Department (prior to excavation).

During Construction:

- 1) **Construction Hours:** Construction shall be limited to the hours stated in Section 8.9.8 “Construction Hours” of the Reading General Bylaws and said hours shall be posted in a conspicuous place at the entrance prior to any work on the site.
- 2) **Construction Activities:** Construction activities shall be conducted in a workmanlike manner at all times. Blowing dust or debris shall be controlled by the Applicant through stabilization, wetting down, and proper storage and disposal methods, subject to the approval of the Health Director or designee. The Applicant shall ensure that the abutting local streets are kept clear of dirt and debris arising from the Project, which may accumulate as a result of construction activities for the Project.
- 3) **Site Inspections:** Town staff or their designee shall have reasonable access to inspect the Site to determine compliance with this Decision.
- 4) **Road Lane Closures:** The Applicant/Owner shall require that no construction deliveries which require lane closure on Main Street occur during peak travel hours (7:00AM-9:30AM/3:00PM-6:00PM). No lane shall be closed for more than 2-hour periods. At no point during construction shall both northbound travel lanes on Main Street be closed.

➡ **This condition has had the peak travel hours modified from the original condition in the 9/12/22 Decision and language of 2-hour maximum lane closing has been provided.**

Prior to the Issuance of Occupancy Permits:

- 1) **Funding for Intersection Improvements and/or Design:** In recognition of the fact that this project will add traffic to an already congested area with problematic intersections, the Applicant has agreed to contribute \$35,000 to the Town for the purpose of implementing recommendations within the peer review conducted and provided by Green International Affiliates, Inc, or for further design study of the intersection area. This funding shall be managed by the Town Engineer and/or Community Development Director for such improvements that are deemed necessary.

➡ **This condition has been relocated from the original timing of prior to Vertical Construction in the 9/12/22 Decision, and the conditioned funds have been increased from \$25,000 to \$35,000.**

- 2) **Street Tree:** The existing street tree on Main Street shall be maintained, relocated, or replaced as deemed required by the Tree Warden.

Conditions for Ongoing Maintenance:

- 1) **As-Built Plans:** Two full size paper copies and electronic AutoCAD final As-Built plans showing the building footprint, drainage systems and utility connections shall be submitted to the Community Development Director and Town Engineer to ensure compliance with this decision and other applicable Town standards.

Plan Changes after Approval by the Commission:

Further contemplated future changes to the plan approved herein shall be presented to the Community Development Director and the Building Inspector, or other relevant Town staff, for review prior to implementation of proposed changes.

10.5.13.1 Minor Plan Changes: After Plan Approval, an Applicant may apply to make minor changes in a Development Project involving minor utility or building orientation adjustments, or minor adjustments to parking or other site details that do not affect the overall build out or building envelope of the site, or provision of open space, number of housing units, or housing need or affordability features. Such minor changes must be submitted to the Commission on redlined prints of the approved plan, reflecting the proposed change, and on application forms provided by the Commission. The Commission may authorize such changes at any regularly scheduled meeting, without the need to hold a public hearing. The Commission shall set forth any decision to approve or deny such minor change by motion and written decision, and provide a copy to the Applicant for filing with the Town Clerk.

10.5.13.2 Major Plan Changes: Those changes deemed by the Commission to constitute a major change in a Development Project because of the nature of the change in relation to the prior approved plan, or because such change cannot be appropriately characterized as a minor change as described above, shall be processed by the Commission as a new application for Plan Approval pursuant to Section 10.5.

Appeal:

Any person aggrieved by this Decision of the CPDC may appeal to the appropriate court in accordance with the provisions of M.G.L. Ch. 40A Section 17, pursuant to M.G.L. Ch. 40R Section 11, within twenty (20) days after the date of filing of this Decision with the Town Clerk. Notice of any appeal with a copy of the complaint must also be filed with the Town Clerk within such twenty (20) days as provided in M.G.L. Ch. 40A Section 17.

This Decision and the relief, terms, restrictions and conditions contained herein shall run with the land and all subsequent owners shall benefit from and be bound by the relief, terms, restrictions and conditions contained herein.

Signed as to the accuracy of the vote as reflected in the minutes:

Andrew MacNichol, Community Development Director

Date

Cc: Applicant, Town Clerk, CPDC, Development Review Team, Building Inspector, planning file

459 Main Street, Reading, MA
Summary of Project Changes

The development proposal at 459 Main Street (property), as presented to the CPDC, previously consisted of a four-story mixed-use building with a single commercial space and parking on the ground floor and three residential stories above containing twelve condominium units (project). The project included 20 off-street parking spaces (17 residential and 3 commercial).

As shown in revised project plans entitled *459 Main Street*, dated September 14, 2023, prepared by Context, which were prepared for the CPDC's review and approval, the developer has proposed to reduce the size and scope of the project by reducing the number of residential units from 12 to 10. The building will also be reduced in height from 4 stories to 3 stories and will be reduced in depth, providing a greater rear yard setback to adjacent residential properties and reducing the shadow impact of the proposed development. The project will include 18 parking spaces (13 residential and 5 commercial/visitor), as well as significant indoor bicycle storage for residents and outdoor bicycle storage for guests. The site will have a one-way entry on Main Street and a one-way exit on Washington Street under no left turn control with a right turn only arrow painted on the ground. The revised design includes usable balconies and ground floor outdoor landscaping and seating. As previously proposed, the building will be solar ready, include EV ready parking, provide a ground floor loading zone, and satisfy all applicable requirements of the Massachusetts Stormwater Management Standards.

470 MAIN STREET

452 MAIN STREET

MAIN STREET

MAIN STREET

475 MAIN STREET

REFER TO A-10
FOR FLOOR PLANS

WASHINGTON STREET

WASHINGTON STREET

166 WASHINGTON STREET

SINGLE FAMILY 15 DISTRICT

DOWNTOWN SMART GROWTH DISTRICT (OVERLAY TO BUSINESS - B)

SINGLE FAMILY 15 DISTRICT

ZONING ANALYSIS	DSGD	PROPOSED
LOT AREA MIN.	6,000 SF	10,255 SF
NUMBER OF BUILDINGS PER LOT	N/A	1
MIN. LOT FRONTAGE	50'-0"	95'-0"
MAX. BUILDING FRONTAGE	300'-0"	95'-0"
MAX. LOT COVERAGE	N/A	N/A
MAX. F.A.R	2.8	15,804 / 10,255 = 1.54
MAX. HEIGHT	45'-0"	42'-10"
MIN. FRONT YARD SETBACK	0'-0"	0'-0"
MAX. FRONT YARD SETBACK	10'-0"	0'-0"
MIN. SIDE YARD SETBACK	0'-0"	0'-0"
MIN. REAR YARD SETBACK	15'-0"	17'-6"
PARKING REQUIREMENT	1.25 / UNITS + 2 RETAIL	1.3 / UNITS + 5 RETAIL

RIGHT
TURN
ONLY

S SITE PLAN
SCALE: 3/32" = 1'-0"

459 Main Street
GC Fodera
Contracting, Inc.

context
a collaborative design workshop

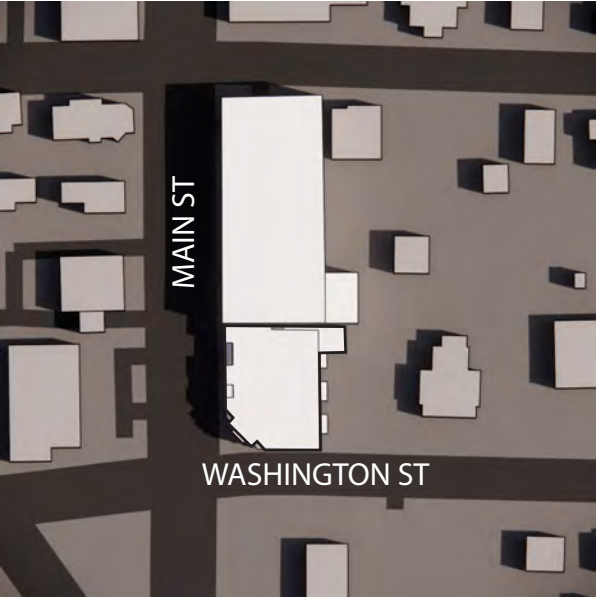
Reading,
Massachusetts

No.	Description	Date
01	Issued for Permit	09/14/2023
Drawing Title: Proposed Site Plan		
Project No.: 0609 Checked by: EZ		

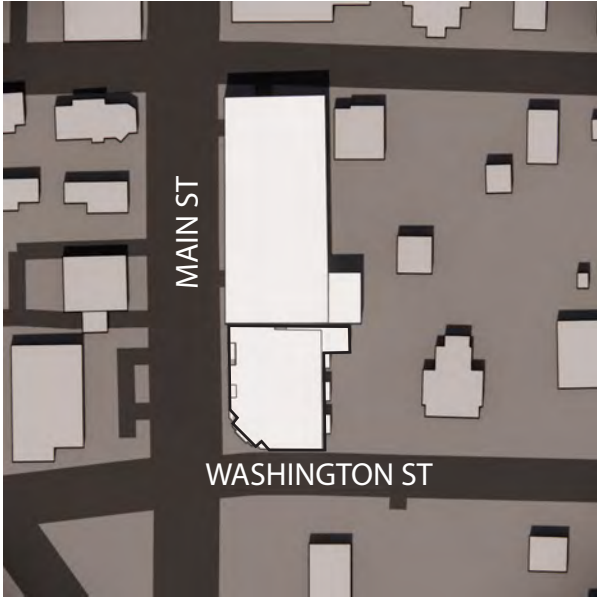
A-02

JUNE 21ST

SUMMER SOLSTICE



9 AM (MORNING)



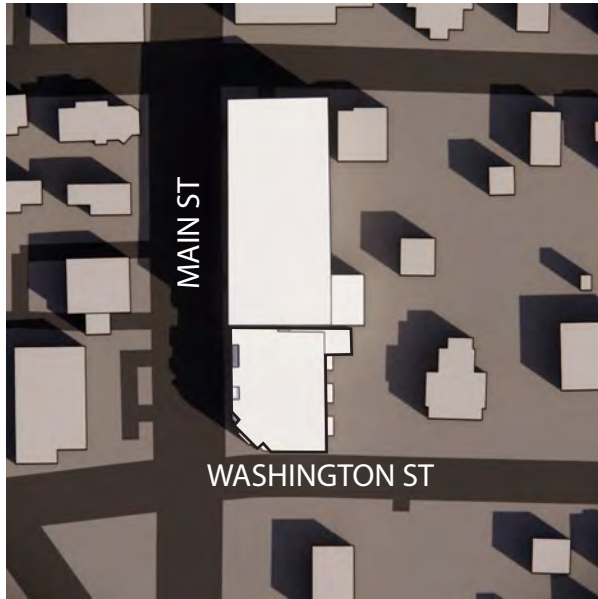
12 PM (NOON)



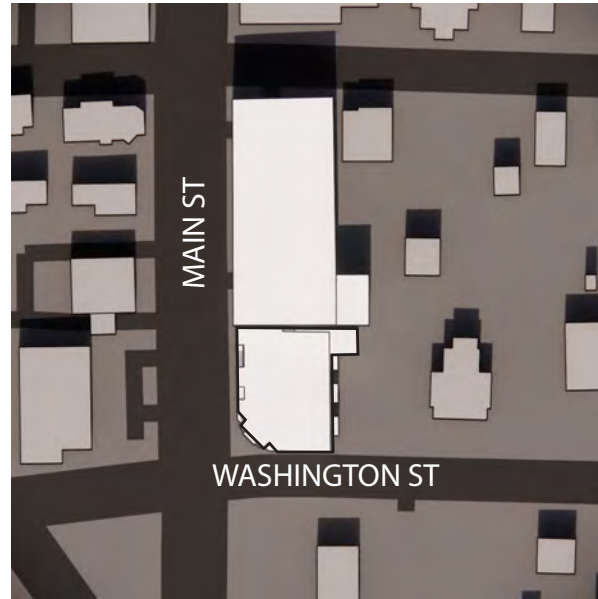
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SEPTEMBER/MARCH 21

AUTUMNAL AND SPRING EQUINOX



9 AM (MORNING)



12 PM (NOON)



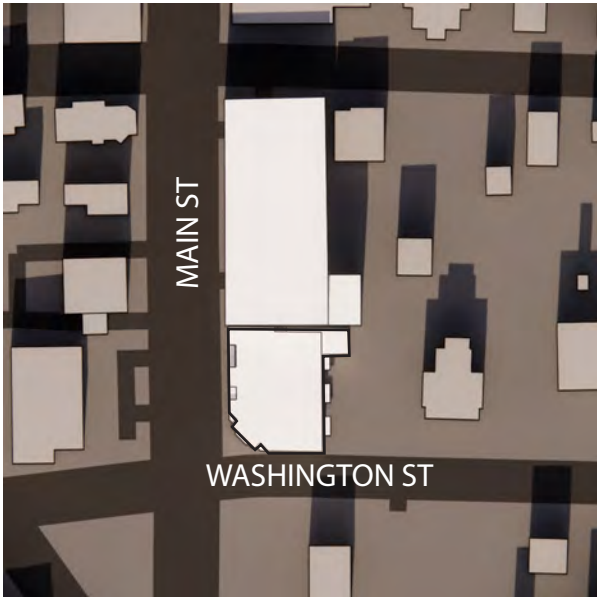
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DECEMBER 21

WINTER SOLSTICE



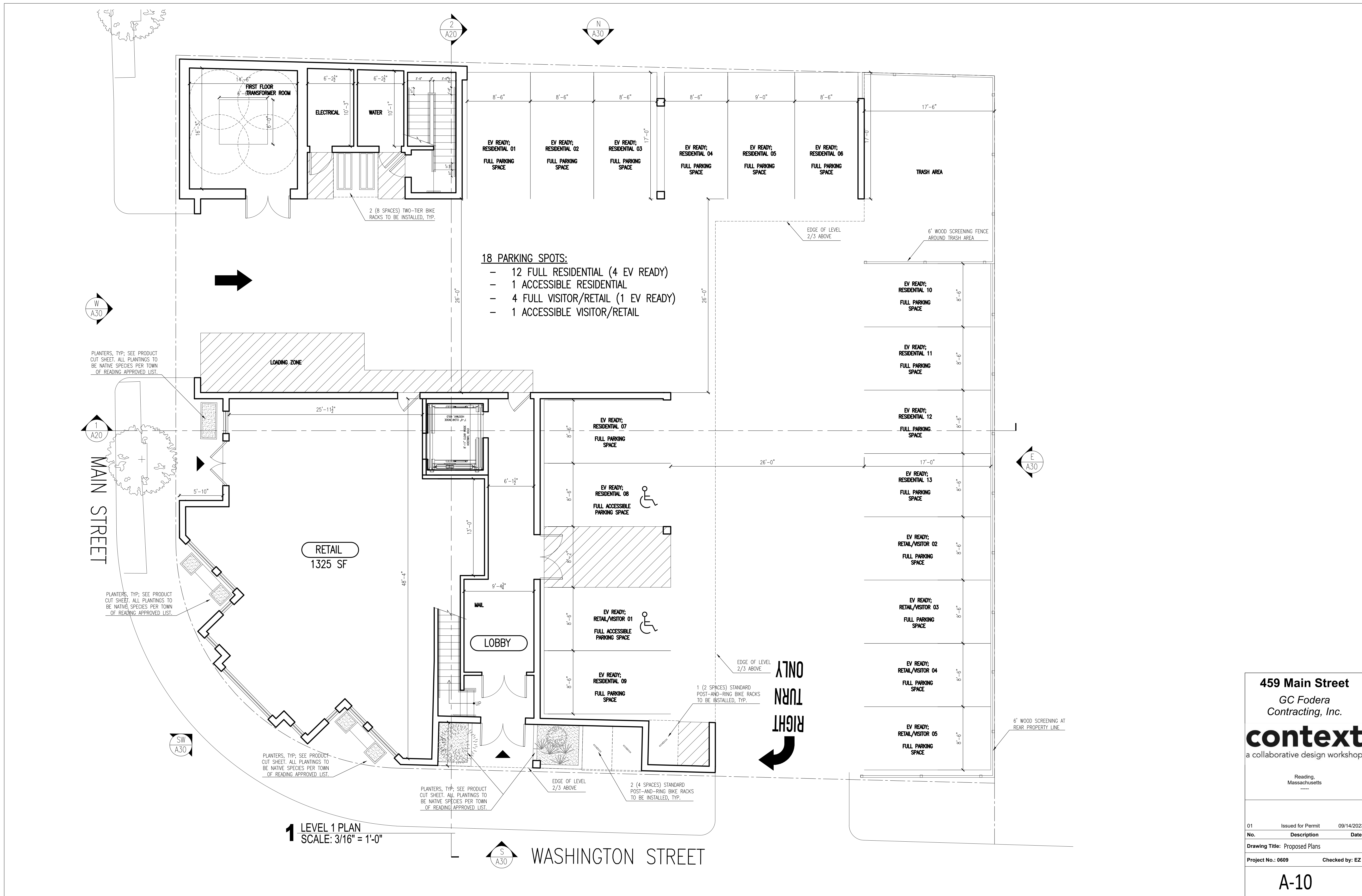
9 AM (MORNING)



12 PM (NOON)



3 PM (AFTERNOON)



18 PARKING SPOTS:

- 12 FULL RESIDENTIAL (4 EV READY)
- 1 ACCESSIBLE RESIDENTIAL
- 4 FULL VISITOR/RETAIL (1 EV READY)
- 1 ACCESSIBLE VISITOR/RETAIL

1 LEVEL 1 PLAN
SCALE: 3/16" = 1'-0"

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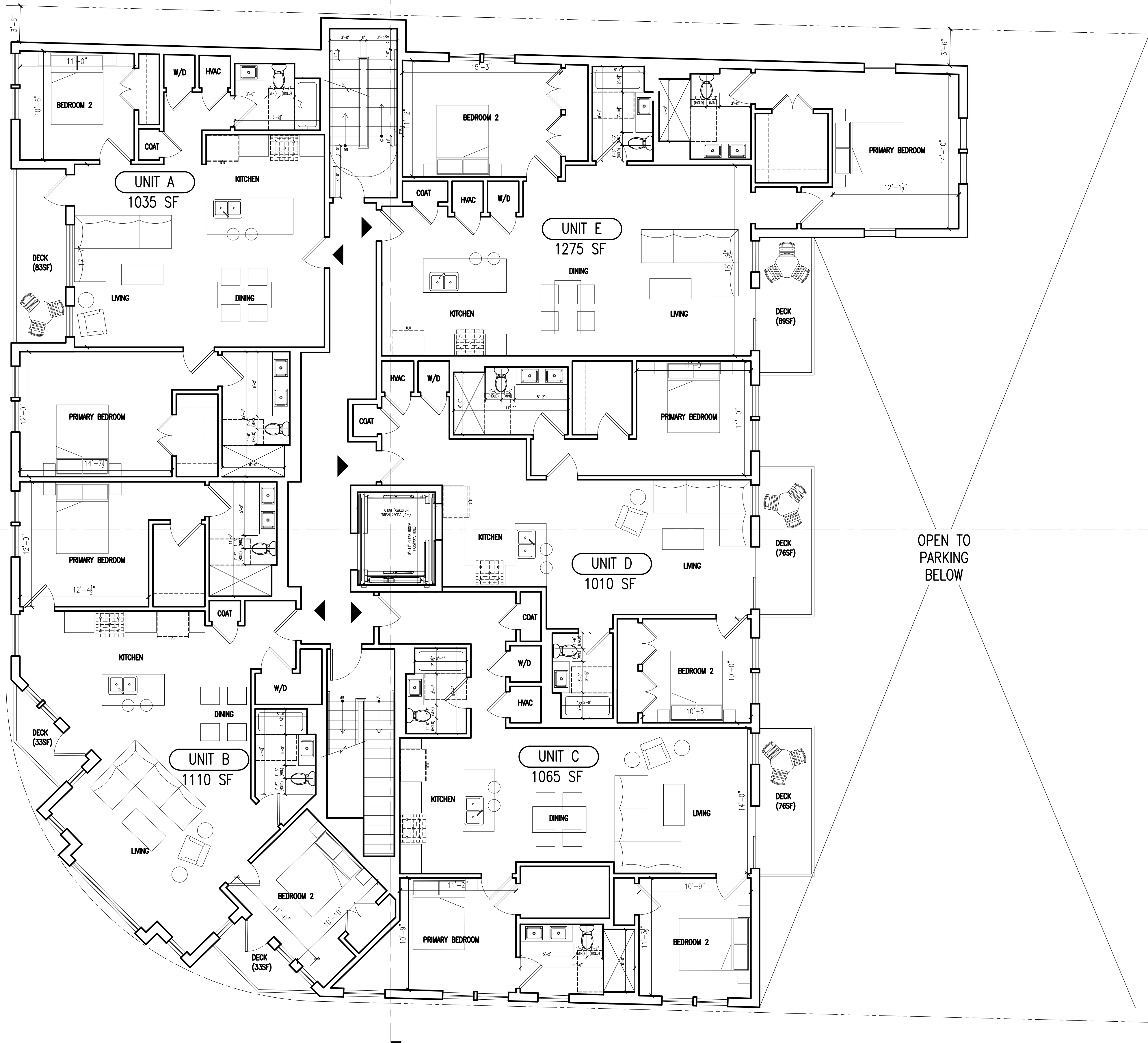
Reading,
Massachusetts

No.	Description	Date
01	Issued for Permit	09/14/2023
Drawing Title: Proposed Plans		
Project No.: 0609		Checked by: EZ

A-10

1
A20

2
A20



2 LEVEL 2 PLAN
SCALE: 3/16" = 1'-0"

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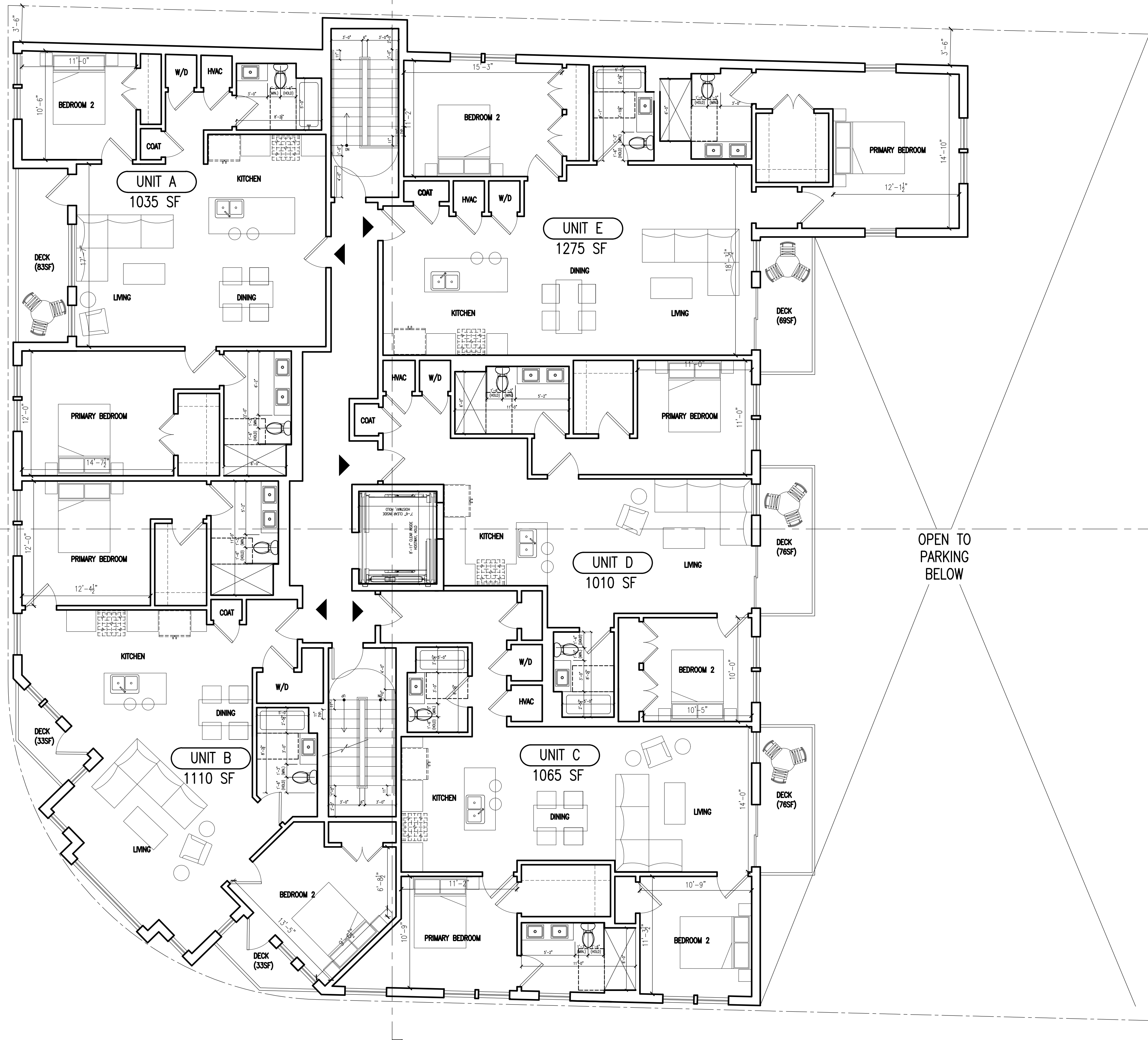
No.	Description	Date
01	Issued for Permit	09/14/2023

Drawing Title: Proposed Plans
Project No.: 0609 Checked by: EZ

A-11

1
A20

2
A20



3 LEVEL 3 PLAN
SCALE: 3/16" = 1'-0"

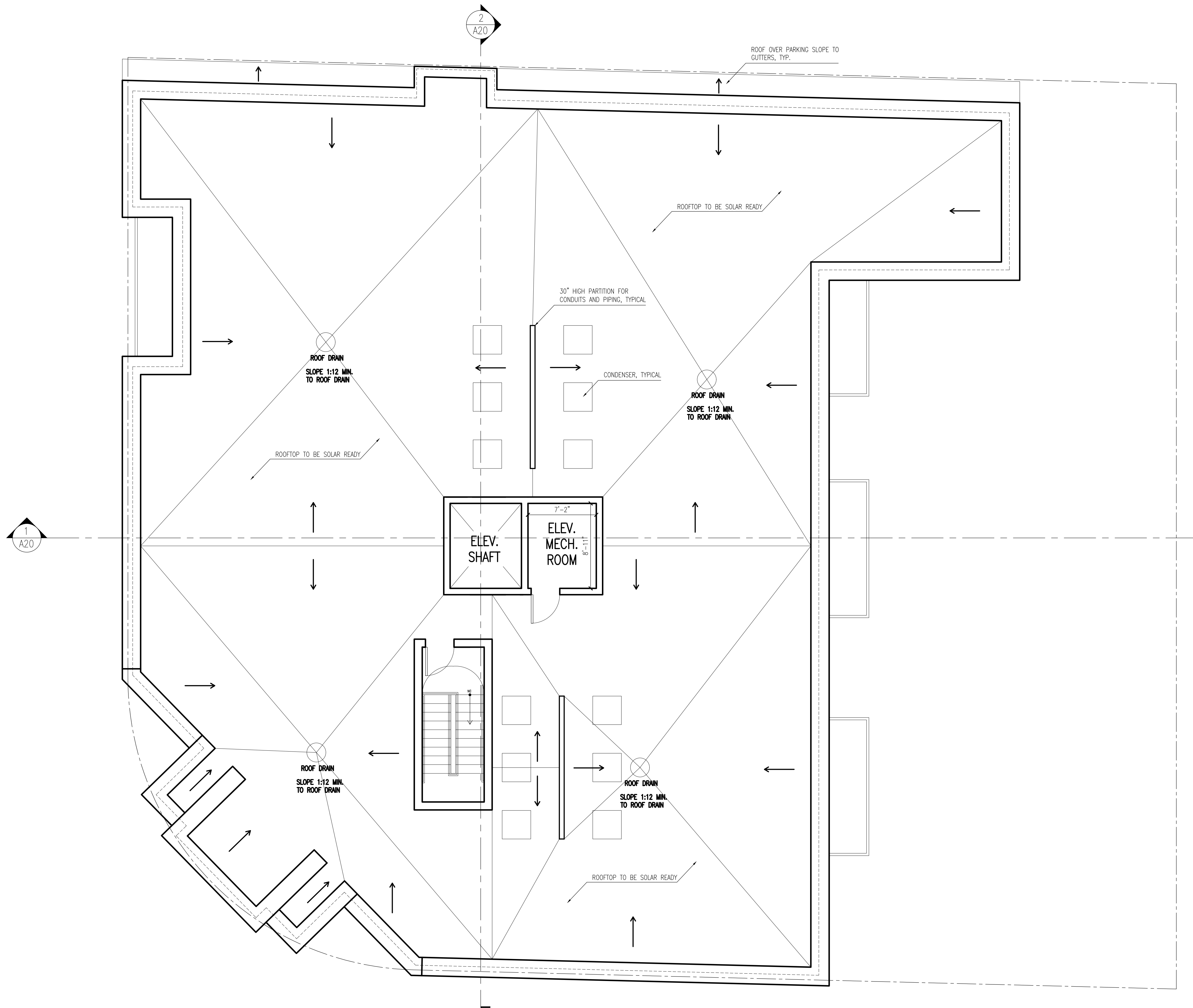
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01	Issued for Permit	09/14/2023
No.	Description	Date
Drawing Title: Proposed Plans		
Project No.: 0609		Checked by: EZ

A-12

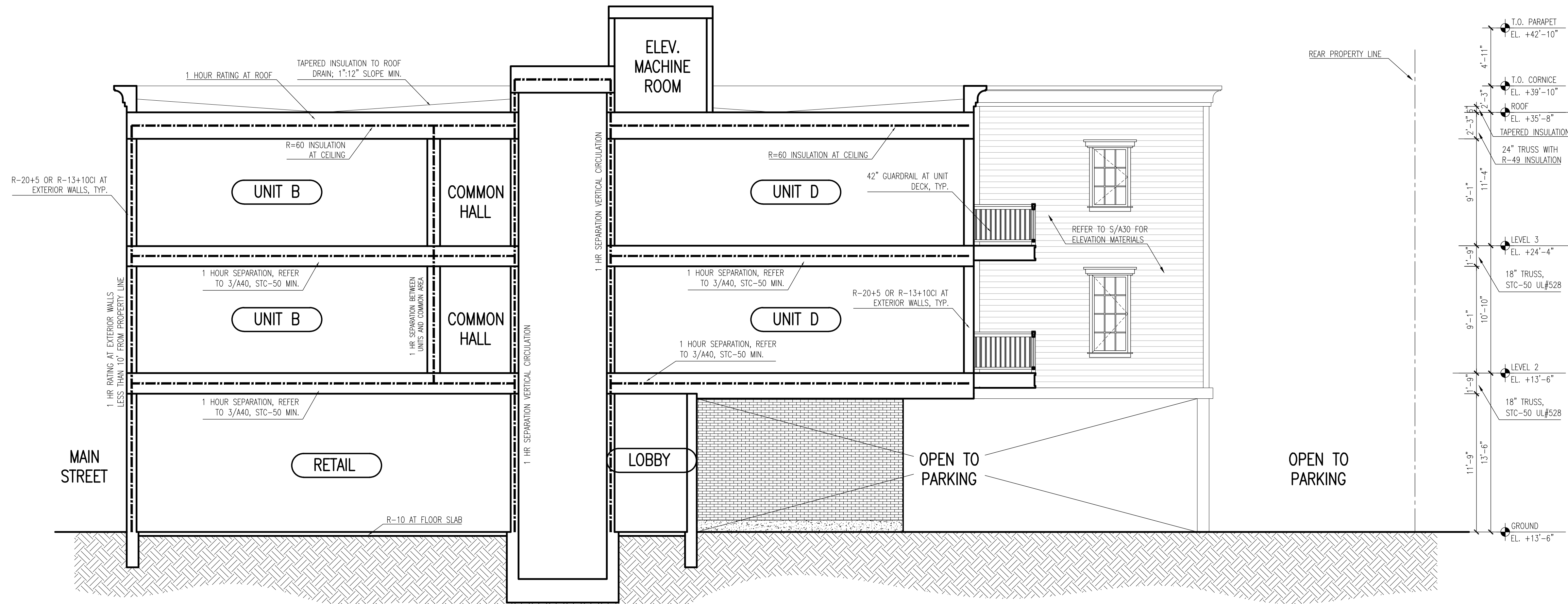


R ROOF PLAN
SCALE: 3/16" = 1'-0"

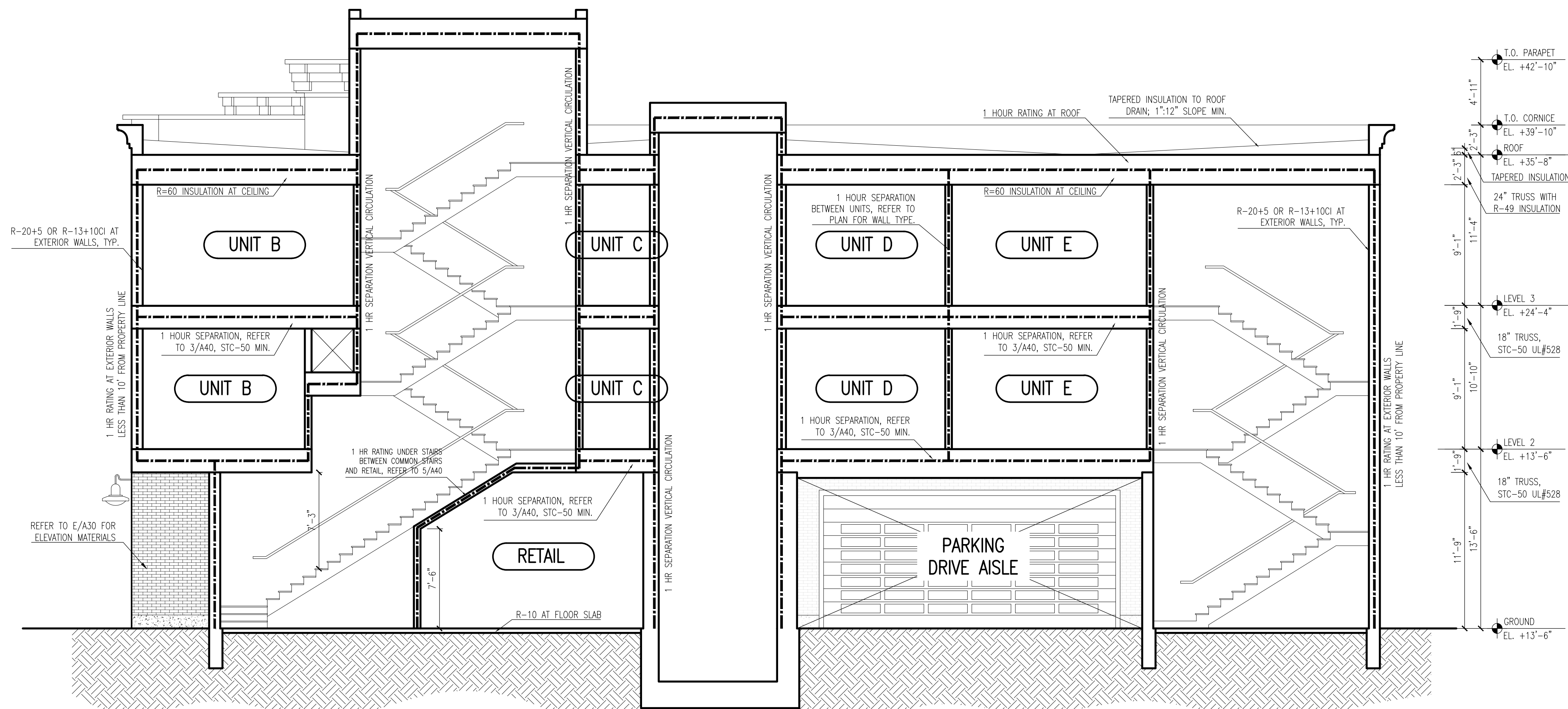
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No.	Description	Date
01	Issued for Permit	09/14/2023
Drawing Title: Proposed Plans		
Project No.: 0609 Checked by: EZ		

A-13



1 EAST-WEST PROPOSED SECTION
SCALE: 3/16" = 1'-0"



2 NORTH-SOUTH PROPOSED SECTION
SCALE: 3/16" = 1'-0"

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01	Issued for Permit	09/14/2023
No.	Description	Date
Drawing Title: Proposed Sections		
Project No.: 0609		Checked by: EZ

A-20



W PROPOSED WEST ELEVATION (MAIN STREET)
SCALE: 3/16" = 1'-0"



SW PROPOSED SOUTHWEST ELEVATION
SCALE: 3/16" = 1'-0"

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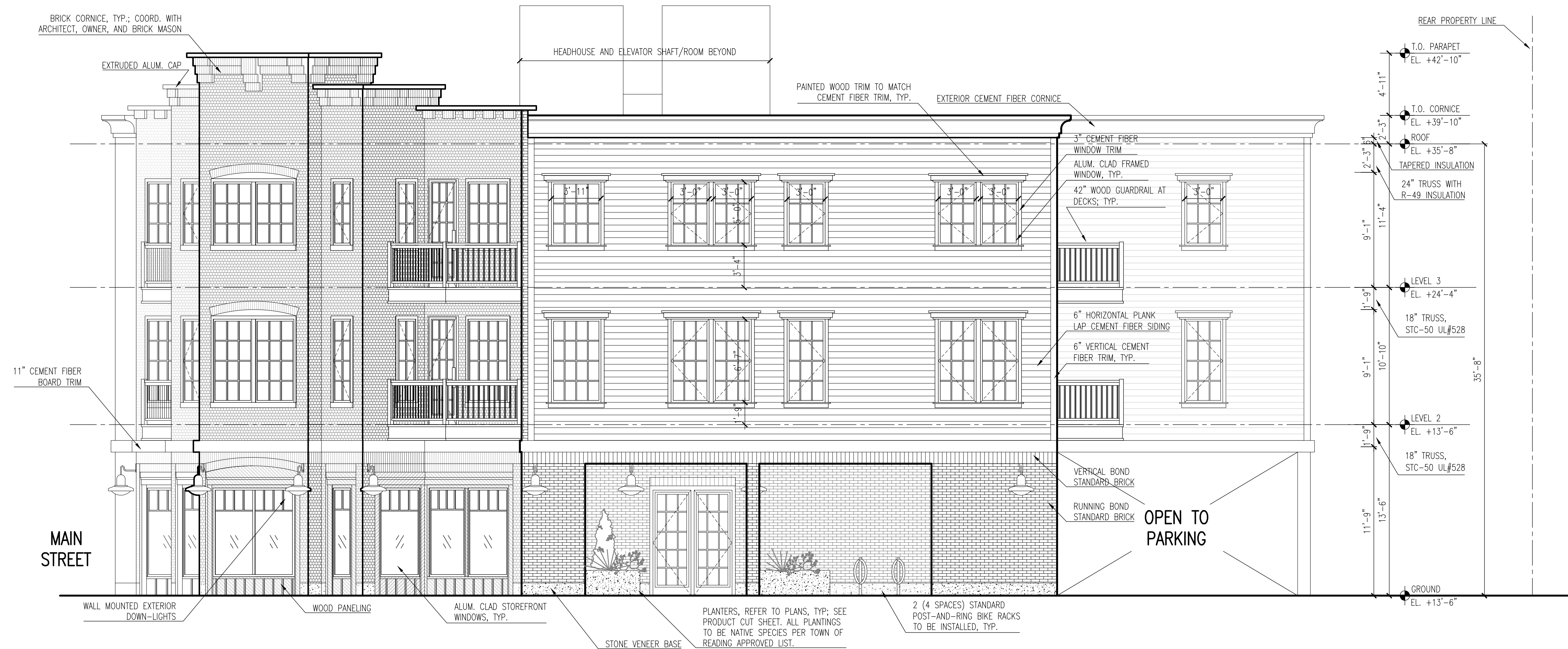
01 Issued for Permit 09/14/2023

No. Description Date

Drawing Title: Proposed Elevations

Project No.: 0609 Checked by: EZ

A-30



S PROPOSED SOUTH ELEVATION (WASHINGTON STREET)
SCALE: 3/16" = 1'-0"

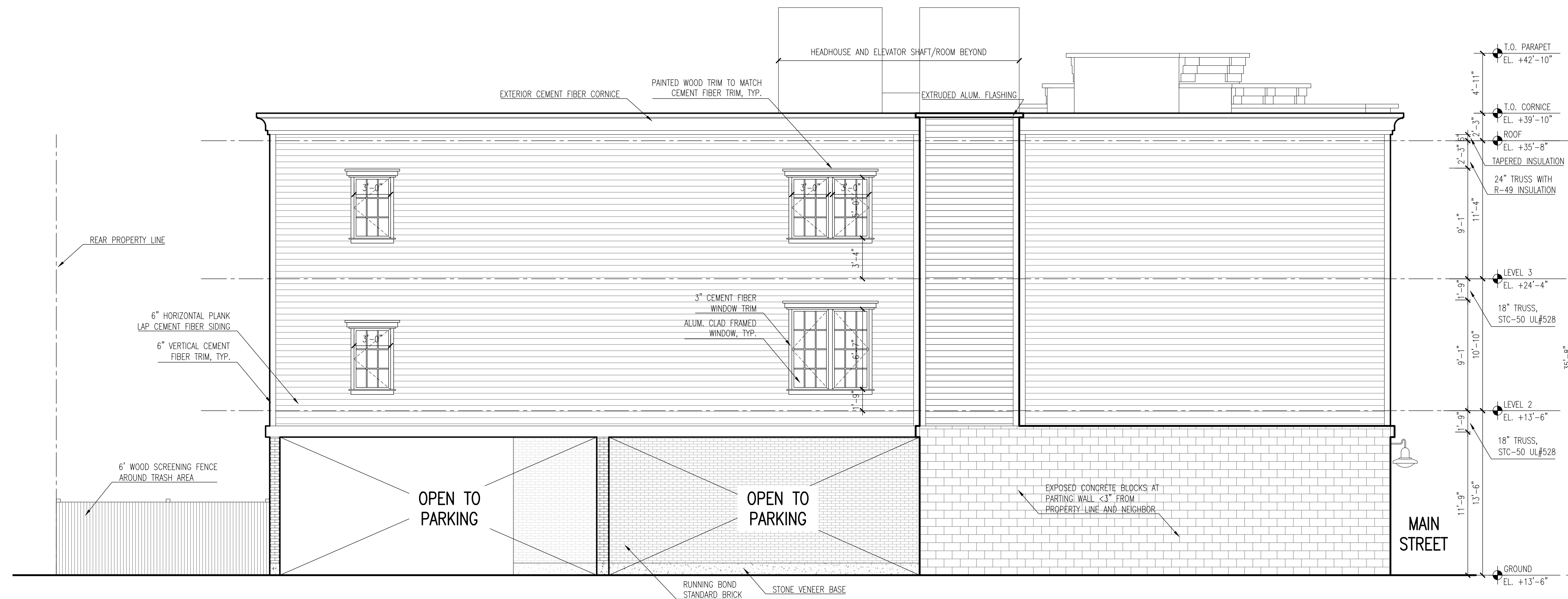


E PROPOSED EAST ELEVATION
SCALE: 3/16" = 1'-0"

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01	Issued for Permit	09/14/2023
No.	Description	Date
Drawing Title: Proposed Elevations		
Project No.: 0609	Checked by: EZ	

A-31



N PROPOSED NORTH ELEVATION
 SCALE: 3/16" = 1'-0"

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 Contracting, Inc.

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No.	Description	Date
01	Issued for Permit	09/14/2023

Drawing Title: Proposed Elevations

Project No.: 0609 Checked by: EZ

A-32



SW PROPOSED SOUTHWEST ELEVATION
SCALE: 3/16" = 1'-0"

Overall color scheme and immediate neighbor
475 Main Street; Rise 475



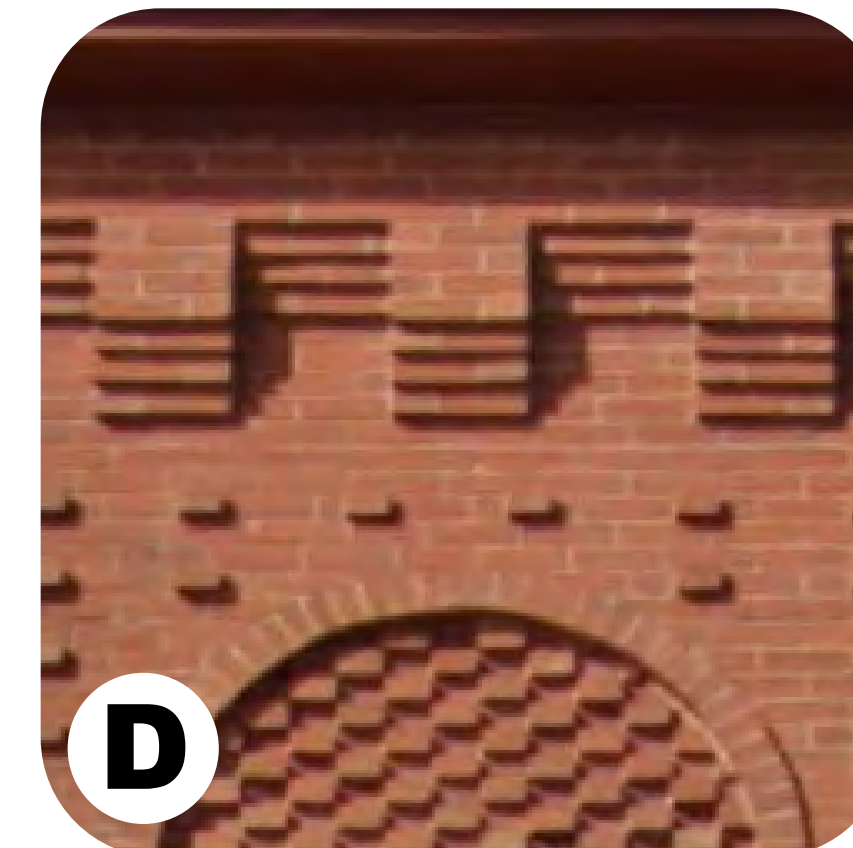
Wall-mounted sidewalk lighting
136 Haven Street; The Postmark



Wood paneled storefront
636 Main Street; Family Dental



Brick cornice detailing and color
600 Main Street



Plank lap cement fiber siding
475 Main Street; Rise 475



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01	Issued for Permit	09/14/2023
No.	Description	Date
Drawing Title: Proposed Elevation Materials		
Project No.: 0609	Checked by: EZ	

A-33

REVISION	DATE	BY
REV-12 UNITS	2/1/22	GGF
DRIVE PATH REV.	4/6/22	GGF
ENG. COMMENTS	6/1/22	GGF
CPDC REVISION	9/7/22	GGF
REVISIONS	9/14/23	GGF

PROJECT LOCATION:
 459 MAIN STREET
 READING, MA 01867
 PARCEL ID:
 MAP 17, PARCEL 62

PLAN SET:
PROPOSED 40R DEVELOPMENT
 459 MAIN STREET
 READING, MA 01867

PROFESSIONAL SEAL:
 PROJECT OF 21228-238
 DATE: 9/14/23
 GIOVANNI GAETANO FODERA
 No. 54884
 REGISTERED PROFESSIONAL ENGINEER

JOB NO.: 21228-238
 SHEET TITLE:
PROPOSED SITE PLAN
 SHEET NUMBER:
C-2

NOTE:
 1. TIME RESTRICTIONS FOR PARKING MAY VARY. SHALL BE COORDINATED WITH THE TOWN.

SCALE: 1" = 10'
 DECEMBER 1, 2021

SITE AND GRADING NOTES

- ALL WALKWAYS SHALL CONSIST OF CONCRETE.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE MUNICIPALITY'S LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
- WORK WITHIN ROUTE 28 SHALL REQUIRE SEPARATE PERMITTING FROM MASSDOT.
- THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS AND STAKES.
- ALL INDICATED ELEVATIONS ARE FINISHED ELEVATIONS.
- IF AREAS ARE DISTURBED BEYOND PROPOSED GRADES BY NEGLIGENCE OF THE CONTRACTOR, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY REGRADING OR REPAIR TO MATCH ORIGINAL EXISTING CONDITIONS.
- CONTRACTOR SHALL ADJUST GRADES BY VARYING THE PAVEMENT SECTIONS ACCORDINGLY. EXISTING COMPACTED SUBGRADE TO BE DISTURBED AS LITTLE AS POSSIBLE.
- ALL PROPOSED SPOT ELEVATIONS SHOWN INDICATE FINISHED GRADED ELEVATIONS AT EDGE OF PAVEMENT AND/OR GRADE BREAKS, UNLESS OTHERWISE NOTED.
- MAINTAIN PROPER SITE DRAINAGE AT ALL TIMES DURING THE COURSE OF CONSTRUCTION, AND PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.
- SPREAD AND COMPACT UNIFORMLY TO THE DEGREE SPECIFIED ALL EXCESS TRENCH SPOIL AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS (EARTHWORK CONTRACTOR SHALL MAKE APPROPRIATE ADJUSTMENTS IN ROUGH GRADING TO ACCOMMODATE TRENCH SPOIL).
- PROVIDE WATER TO ADD TO DRY MATERIAL IN ORDER TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED DENSITY.
- REMOVE ALL UNSUITABLE MATERIAL AND REPLACE WITH SUITABLE STRUCTURAL FILL.
- REPAIR ANY BASE COURSE AND BINDER COURSE FAILURES PRIOR TO THE INSTALLATION OF THE FINAL BITUMINOUS CONCRETE SURFACE COURSE.
- SWEEP CLEAN THE BINDER COURSE PRIOR TO THE INSTALLATION OF THE FINAL BITUMINOUS CONCRETE SURFACE COURSE. EXCESSIVE CLEANING OF THE BINDER COURSE THAT MAY BE REQUIRED, AND IS NOT THE FAULT OF THE PAVING CONTRACTOR, SHALL BE PAID FOR ON A TIME AND MATERIAL BASIS BY PRIOR AGREEMENT WITH THE GENERAL CONTRACTOR.
- A GEOTEXTILE MATTING (LANDLOCK TRM 450 OR EQUIVALENT) SHALL BE USED FOR EROSION CONTROL AND ALL SLOPES GREATER THAN 3H:1V IF NECESSARY.
- IF THE CONTRACTOR IN THE COURSE OF WORK FINDS ANY DISCREPANCIES BETWEEN THE PLANS AND THE PHYSICAL CONDITIONS OF THE LOCALITY, OR ANY ERRORS OR OMISSIONS IN THE PLANS OR IN THE LAYOUT AS GIVEN BY THE ENGINEER, IT SHALL BE HIS DUTY TO IMMEDIATELY INFORM THE ENGINEER, IN WRITING AND THE ENGINEER WILL PROMPTLY VERIFY THE SAME. ANY WORK DONE AFTER SUCH A DISCOVERY, UNTIL AUTHORIZED, WILL BE AT THE CONTRACTOR'S RISK.

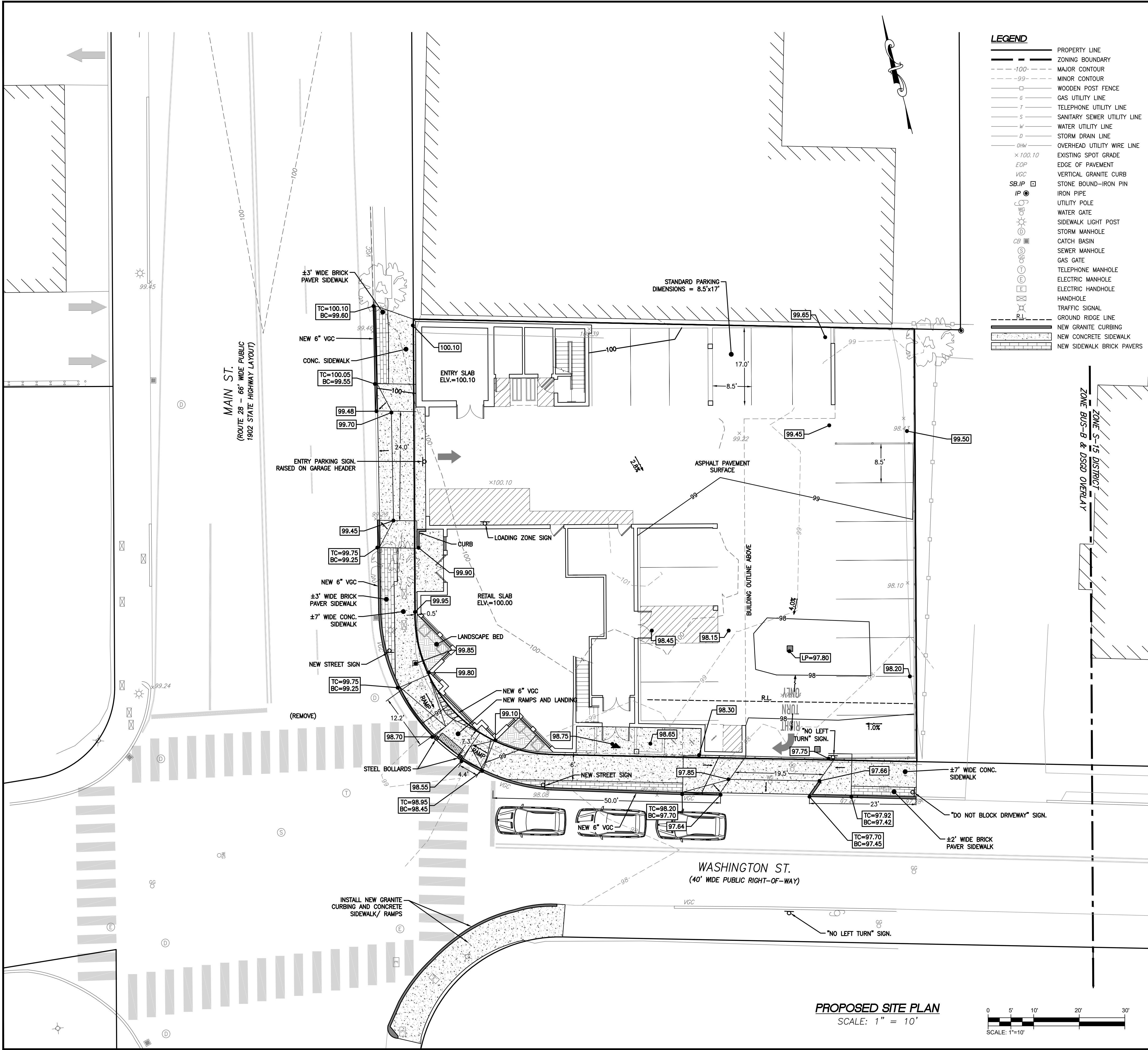
ZONING SUMMARY

	REQUIRED	PROVIDED	RELIEF REQUIRED
MAX FLOOR AREA RATIO (SF)	2.8 (28,716±)	(1)	N
MIN. LOT FRONTAGE	50'	192.57'	N
MAX LOT COVERAGE	N/A	64.5%	N
MIN LOT AREA	N/A	10,256 S.F.	N
NUMBER OF BUILDINGS PER LOT	N/A	1	N
MAXIMUM BUILDING FRONTAGE	300'	±190'	N
FRONT SETBACK (MIN./MAX)	0'/10'	0.1'	N
MIN. SIDE SETBACK	0'	0'	N
MIN. REAR SETBACK	0'	N/A	N
INTERIOR SETBACK BETWEEN BUILDINGS ON SAME LOT	15'	N/A	N
DWELLING UNIT DENSITY PER ACRE	20	(1)	Y

(1) REFER TO ARCHITECTURAL PLANS.

LEGEND

- PROPERTY LINE
- - - ZONING BOUNDARY
- - -100'- MAJOR CONTOUR
- - -99'- MINOR CONTOUR
- WOODEN POST FENCE
- G GAS UTILITY LINE
- T TELEPHONE UTILITY LINE
- S SANITARY SEWER UTILITY LINE
- W WATER UTILITY LINE
- D STORM DRAIN LINE
- OHW OVERHEAD UTILITY WIRE LINE
- ×100.10 EXISTING SPOT GRADE
- EDP EDGE OF PAVEMENT
- VCC VERTICAL GRANITE CURB
- SB,IP □ STONE BOUND-IRON PIN
- IP ● IRON PIPE
- UTILITY POLE
- WATER GATE
- SIDEWALK LIGHT POST
- STORM MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- GAS GATE
- TELEPHONE MANHOLE
- ELECTRIC MANHOLE
- ELECTRIC HANDHOLE
- HANDHOLE
- TRAFFIC SIGNAL
- GROUND RIDGE LINE
- NEW GRANITE CURBING
- NEW CONCRETE SIDEWALK
- NEW SIDEWALK BRICK PAVERS

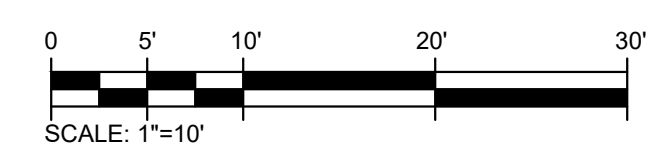


NOTE:
 1. SIGN SIZE SHALL BE 24"x24"
PARKING ENTRY SIGN
 N.T.S.



NOTE:
 1. TIME RESTRICTIONS FOR PARKING MAY VARY. SHALL BE COORDINATED WITH THE TOWN.
RETAIL PARKING SIGN
 N.T.S.

PROPOSED SITE PLAN
 SCALE: 1" = 10'



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REVISION	DATE	BY
REV-12 UNITS	2/1/22	GGF
DRIVE PATH REV.	4/6/22	GGF
ENG. COMMENTS	6/1/22	GGF
CPDC REVISION	9/7/22	GGF
REVISIONS	9/14/23	GGF

REVISION	DATE	BY

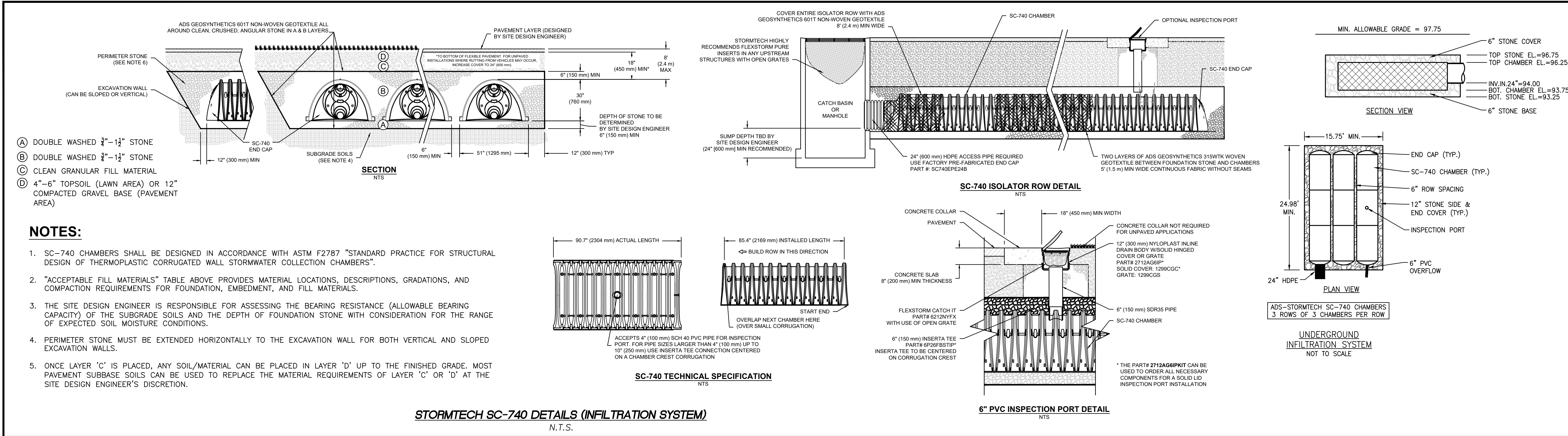
PROJECT LOCATION:
 459 MAIN STREET
 READING, MA 01867
PARCEL ID:
 MAP 17, PARCEL 62

PLAN SET:
 PROPOSED 40R DEVELOPMENT
 459 MAIN STREET
 READING, MA 01867

SCALE: 1" = 10'
 DECEMBER 1, 2021

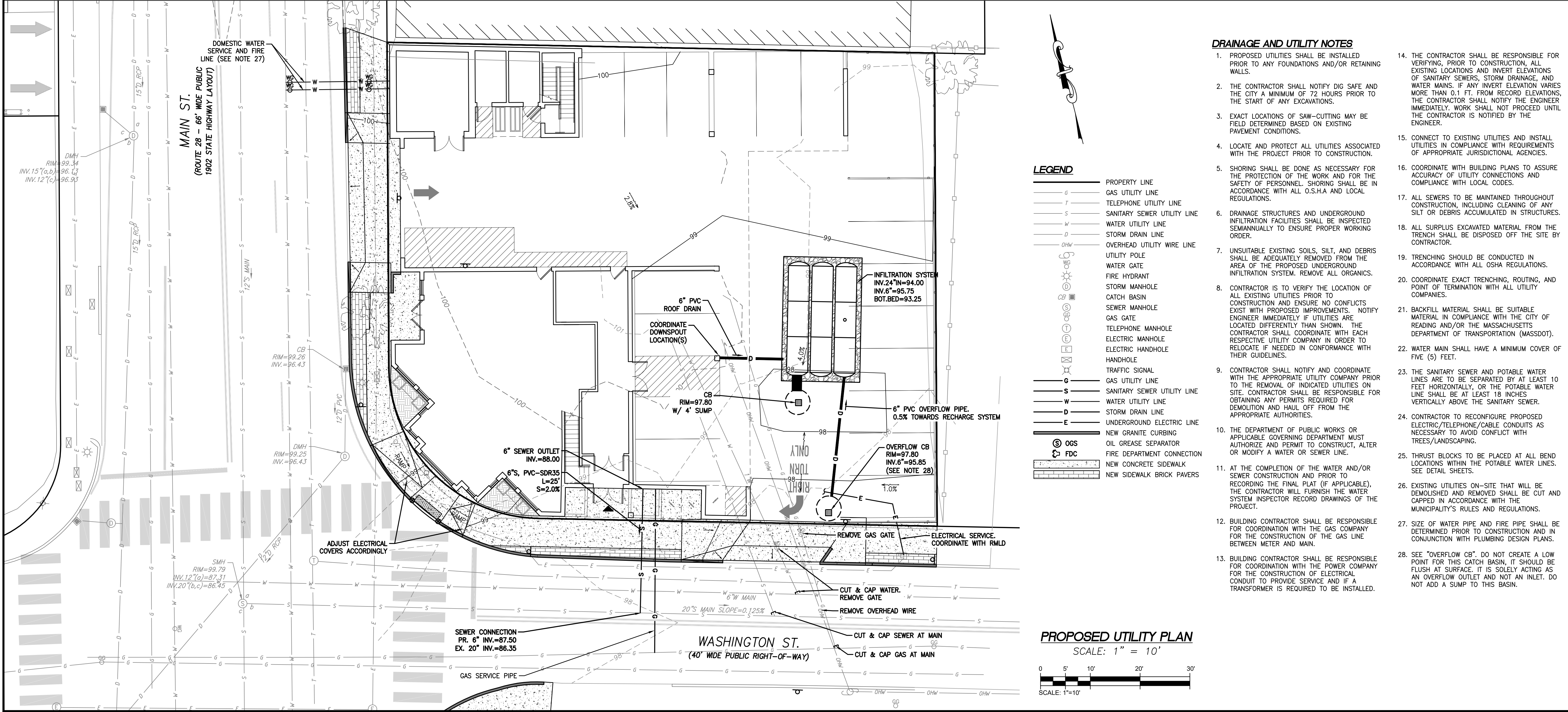
PROFESSIONAL SEAL:
 PROJECT OF 21228-238
 DATE: 12/14/23
 GIOVANNI GAETANO FODERA
 No. 54884
 REGISTERED PROFESSIONAL ENGINEER

JOB NO.: 21228-238
SHEET TITLE:
 PROPOSED UTILITY PLAN
SHEET NUMBER:
 C-3



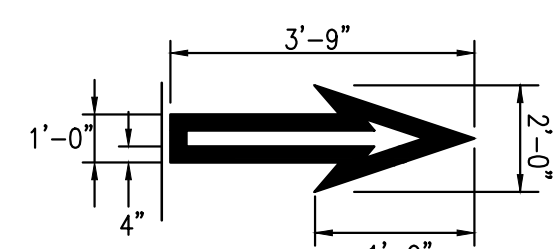
- NOTES:**
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
 - THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
 - PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
 - ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

STORMTECH SC-740 DETAILS (INFILTRATION SYSTEM)
 N.T.S.



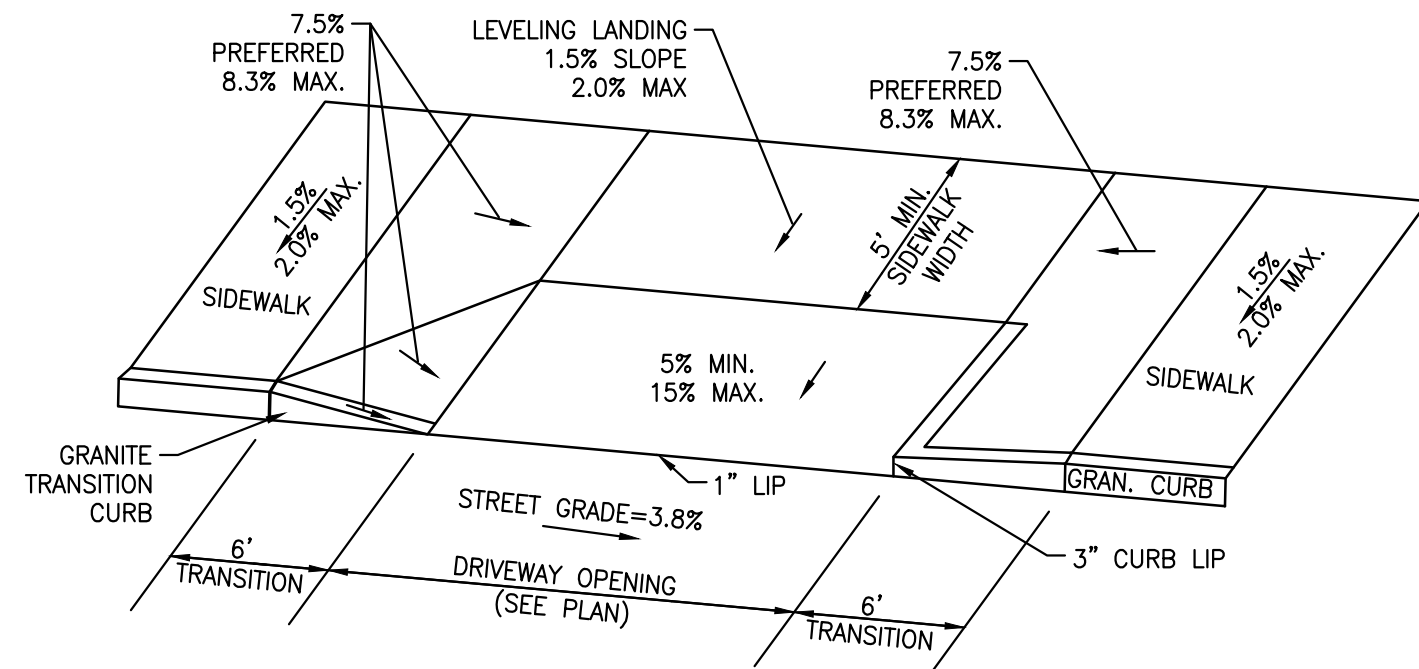
- DRAINAGE AND UTILITY NOTES**
- PROPOSED UTILITIES SHALL BE INSTALLED PRIOR TO ANY FOUNDATIONS AND/OR RETAINING WALLS.
 - THE CONTRACTOR SHALL NOTIFY DIG SAFE AND THE CITY A MINIMUM OF 72 HOURS PRIOR TO THE START OF ANY EXCAVATIONS.
 - EXACT LOCATIONS OF SAW-CUTTING MAY BE FIELD DETERMINED BASED ON EXISTING PAVEMENT CONDITIONS.
 - LOCATE AND PROTECT ALL UTILITIES ASSOCIATED WITH THE PROJECT PRIOR TO CONSTRUCTION.
 - SHORING SHALL BE DONE AS NECESSARY FOR THE PROTECTION OF THE WORK AND FOR THE SAFETY OF PERSONNEL. SHORING SHALL BE IN ACCORDANCE WITH ALL O.S.H.A. AND LOCAL REGULATIONS.
 - DRAINAGE STRUCTURES AND UNDERGROUND INFILTRATION FACILITIES SHALL BE INSPECTED SEMIANNUALLY TO ENSURE PROPER WORKING ORDER.
 - UNSATURABLE EXISTING SOILS, SILT, AND DEBRIS SHALL BE ADEQUATELY REMOVED FROM THE AREA OF THE PROPOSED UNDERGROUND INFILTRATION SYSTEM. REMOVE ALL ORGANICS.
 - CONTRACTOR IS TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND ENSURE NO CONFLICTS EXIST WITH PROPOSED IMPROVEMENTS. NOTIFY ENGINEER IMMEDIATELY IF UTILITIES ARE LOCATED DIFFERENTLY THAN SHOWN. THE CONTRACTOR SHALL COORDINATE WITH EACH RESPECTIVE UTILITY COMPANY IN ORDER TO RELOCATE IF NEEDED IN CONFORMANCE WITH THEIR GUIDELINES.
 - CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO THE REMOVAL OF INDICATED UTILITIES ON SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS REQUIRED FOR DEMOLITION AND HULL OFF FROM THE APPROPRIATE AUTHORITIES.
 - THE DEPARTMENT OF PUBLIC WORKS OR APPLICABLE GOVERNING DEPARTMENT MUST AUTHORIZE AND PERMIT TO CONSTRUCT, ALTER OR MODIFY A WATER OR SEWER LINE.
 - AT THE COMPLETION OF THE WATER AND/OR SEWER CONSTRUCTION AND PRIOR TO RECORDING THE FINAL PLAT (IF APPLICABLE), THE CONTRACTOR WILL FURNISH THE WATER SYSTEM INSPECTOR RECORD DRAWINGS OF THE PROJECT.
 - BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE GAS COMPANY FOR THE CONSTRUCTION OF THE GAS LINE BETWEEN METER AND MAIN.
 - BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE POWER COMPANY FOR THE CONSTRUCTION OF ELECTRICAL CONDUIT TO PROVIDE SERVICE AND IF A TRANSFORMER IS REQUIRED TO BE INSTALLED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING, PRIOR TO CONSTRUCTION, ALL EXISTING LOCATIONS AND INVERT ELEVATIONS OF SANITARY SEWERS, STORM DRAINAGE, AND WATER MAINS. IF ANY INVERT ELEVATION VARIES MORE THAN 0.1 FT. FROM RECORD ELEVATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY. WORK SHALL NOT PROCEED UNTIL THE CONTRACTOR IS NOTIFIED BY THE ENGINEER.
 - CONNECT TO EXISTING UTILITIES AND INSTALL UTILITIES IN COMPLIANCE WITH REQUIREMENTS OF APPROPRIATE JURISDICTIONAL AGENCIES.
 - COORDINATE EXACT TRENCHING, ROUTING, AND POINT OF TERMINATION WITH ALL UTILITY COMPANIES.
 - ALL SEWERS TO BE MAINTAINED THROUGHOUT CONSTRUCTION, INCLUDING CLEANING OF ANY SILT OR DEBRIS ACCUMULATED IN STRUCTURES.
 - ALL SURPLUS EXCAVATED MATERIAL FROM THE TRENCH SHALL BE DISPOSED OFF THE SITE BY CONTRACTOR.
 - TRENCHING SHOULD BE CONDUCTED IN ACCORDANCE WITH ALL OSHA REGULATIONS.
 - COORDINATE EXACT TRENCHING, ROUTING, AND POINT OF TERMINATION WITH ALL UTILITY COMPANIES.
 - BACKFILL MATERIAL SHALL BE SUITABLE MATERIAL IN COMPLIANCE WITH THE CITY OF READING AND/OR THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION (MASSDOT).
 - WATER MAIN SHALL HAVE A MINIMUM COVER OF FIVE (5) FEET.
 - THE SANITARY SEWER AND POTABLE WATER LINES ARE TO BE SEPARATED BY AT LEAST 10 FEET HORIZONTALLY, OR THE POTABLE WATER LINE SHALL BE AT LEAST 18 INCHES VERTICALLY ABOVE THE SANITARY SEWER.
 - CONTRACTOR TO RECONFIGURE PROPOSED ELECTRIC/TELEPHONE/CABLE CONDUITS AS NECESSARY TO AVOID CONFLICT WITH TREES/LANDSCAPING.
 - THRUST BLOCKS TO BE PLACED AT ALL BEND LOCATIONS WITHIN THE POTABLE WATER LINES. SEE DETAIL SHEETS.
 - EXISTING UTILITIES ON-SITE THAT WILL BE DEMOLISHED AND REMOVED SHALL BE CUT AND CAPPED IN ACCORDANCE WITH THE MUNICIPALITY'S RULES AND REGULATIONS.
 - SIZE OF WATER PIPE AND FIRE PIPE SHALL BE DETERMINED PRIOR TO CONSTRUCTION AND IN CONJUNCTION WITH PLUMBING DESIGN PLANS.
 - SEE "OVERFLOW CB". DO NOT CREATE A LOW POINT FOR THIS CATCH BASIN. IT SHOULD BE FLUSH AT SURFACE. IT IS SOLELY ACTING AS AN OVERFLOW OUTLET AND NOT AN INLET. DO NOT ADD A SUMP TO THIS BASIN.

PROPOSED UTILITY PLAN
 SCALE: 1" = 10'
 0 5' 10' 20' 30'

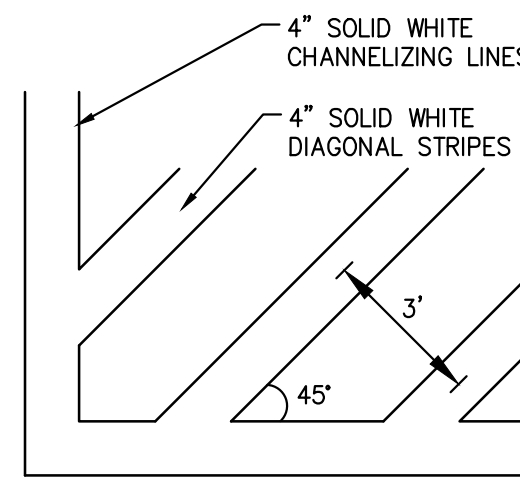


NOTES:
ALL TRAFFIC FLOW ARROWS TO BE REFLECTIVE 5 MIL. WHITE PAINT PER SPECS

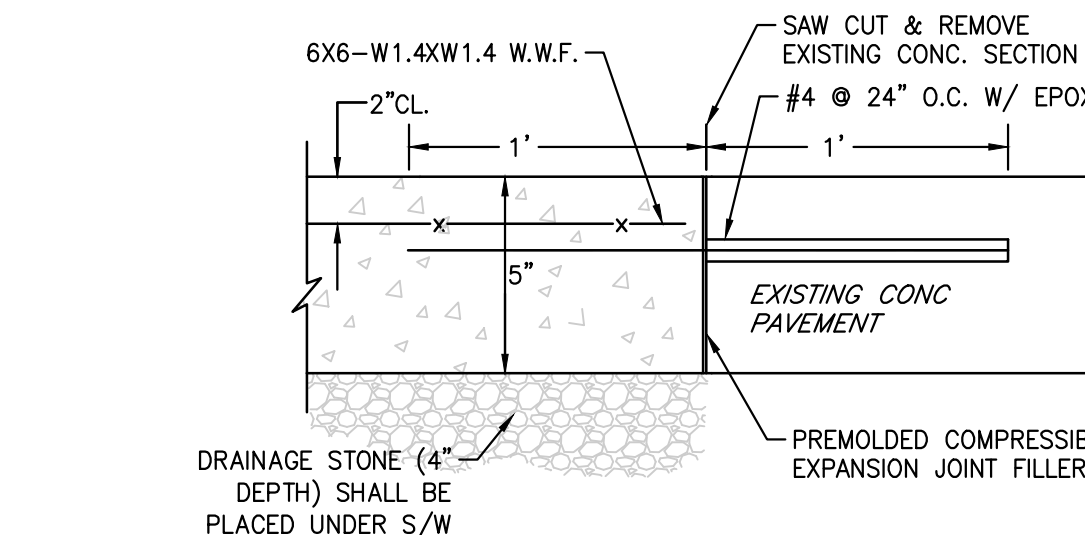
DIRECTIONAL ARROW DETAIL
N.T.S.



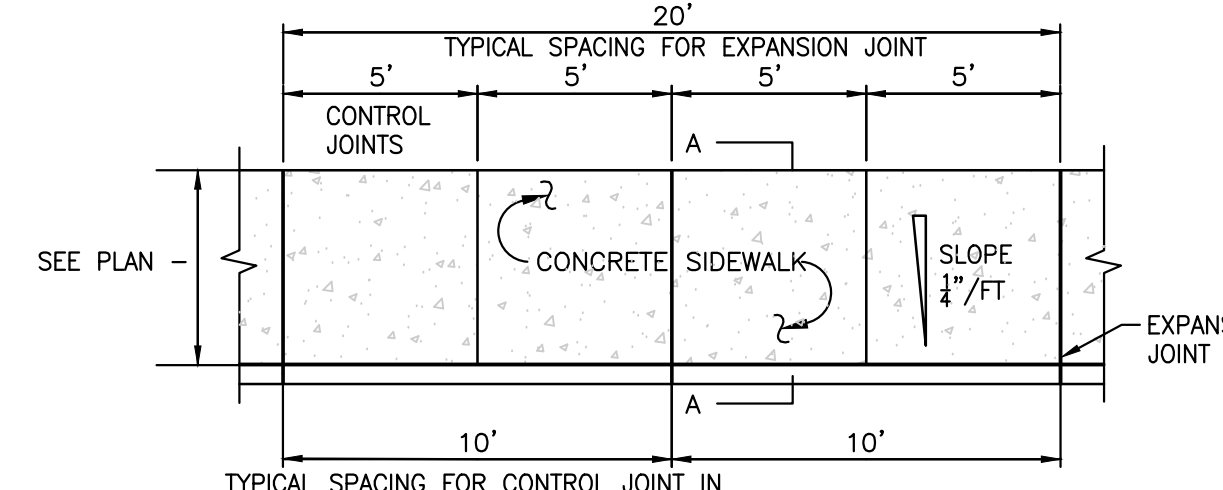
CONCRETE DRIVEWAY APRON
N.T.S.



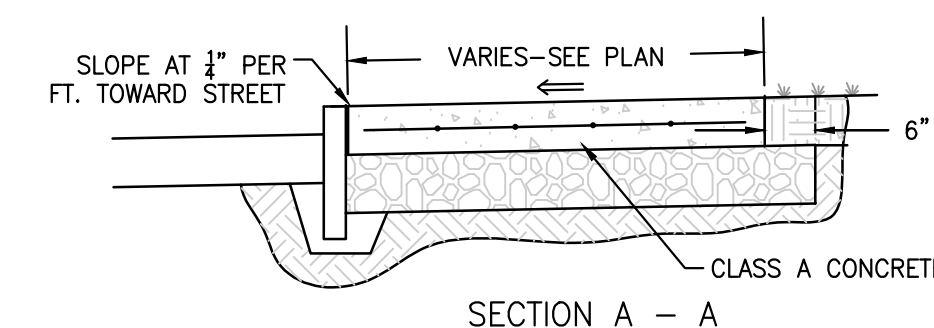
TYPICAL PAVEMENT PAINTING SECTION
N.T.S.



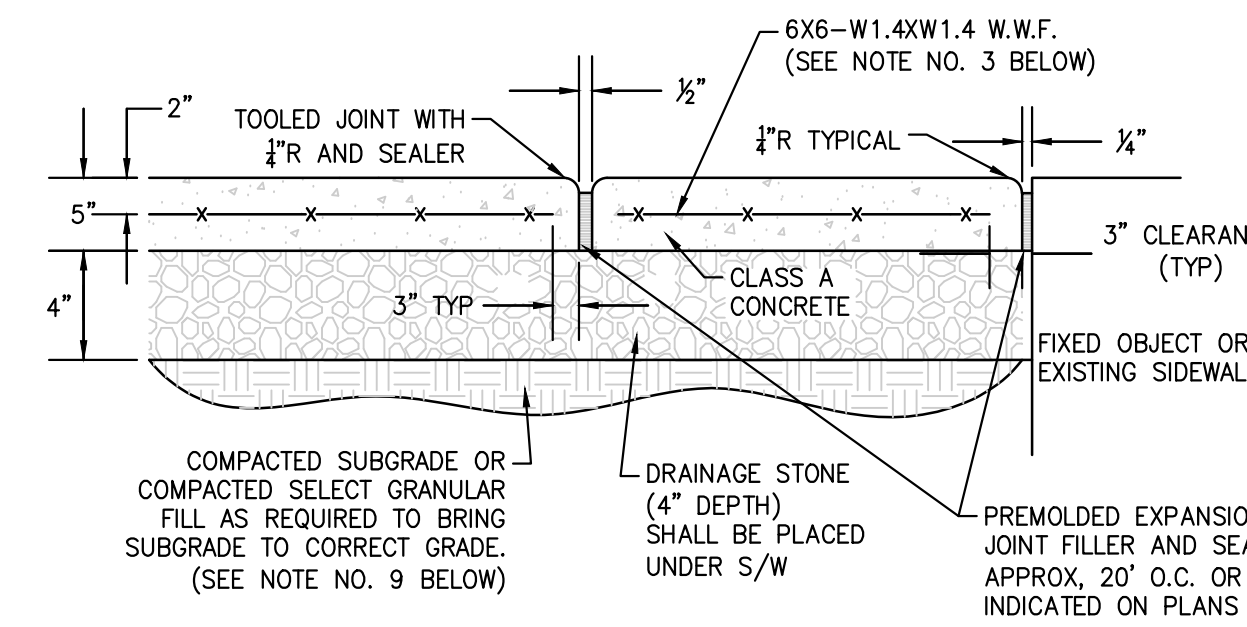
CONCRETE REMOVAL AND REPLACEMENT
N.T.S.



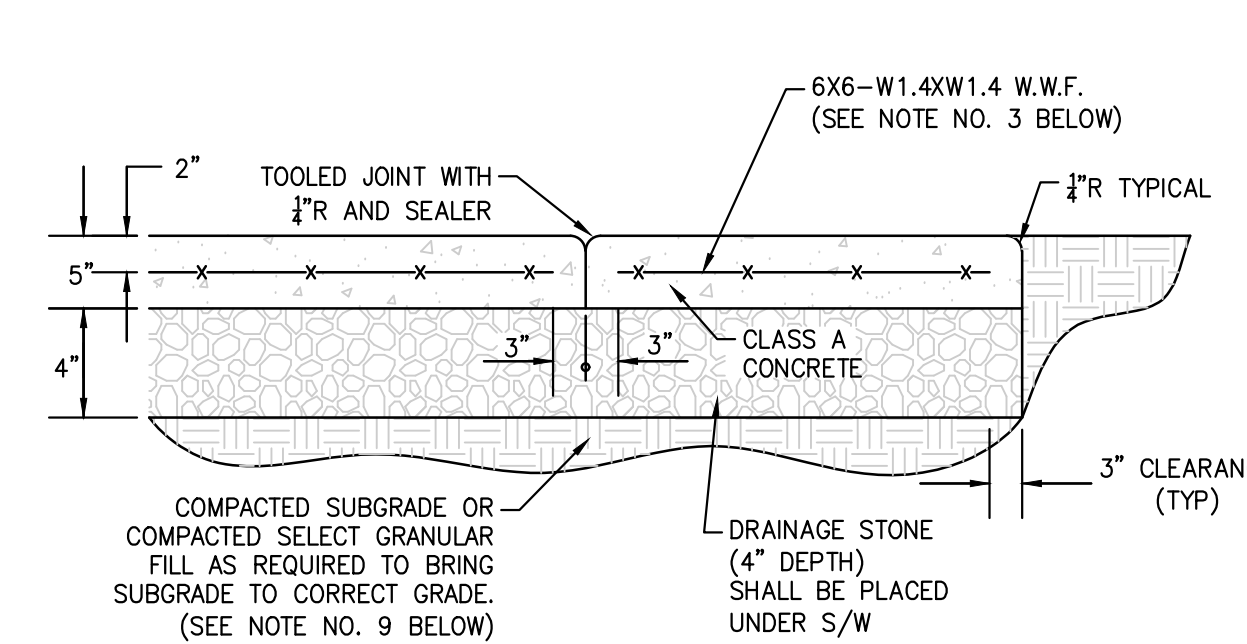
NOTES:
1. 10' SPACING OF CONTROL JOINTS SHALL BE USED FOR CAST IN PLACE CONCRETE CURBS.



SECTION A - A



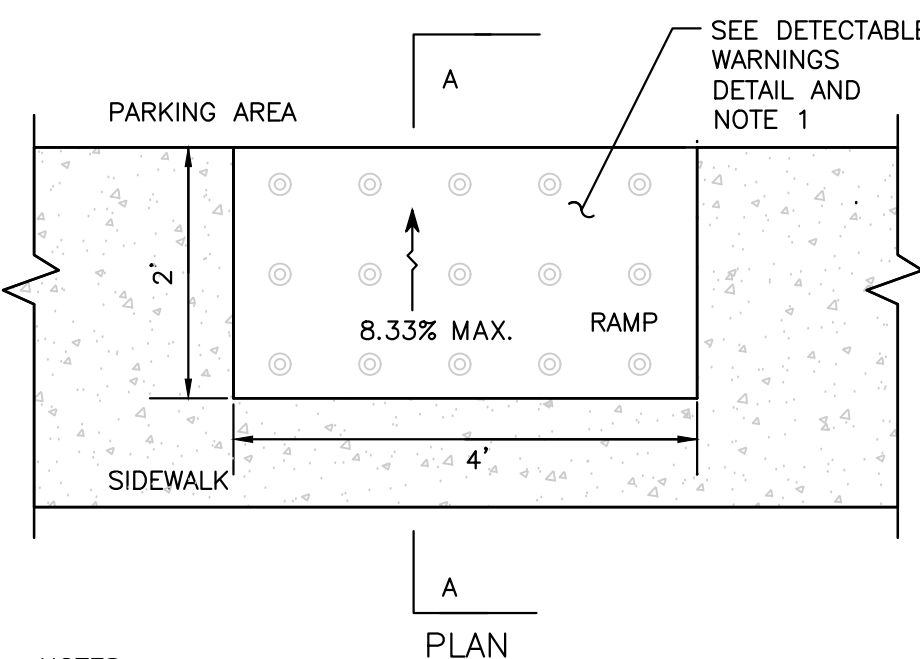
EXPANSION JOINT



CONSTRUCTION JOINT

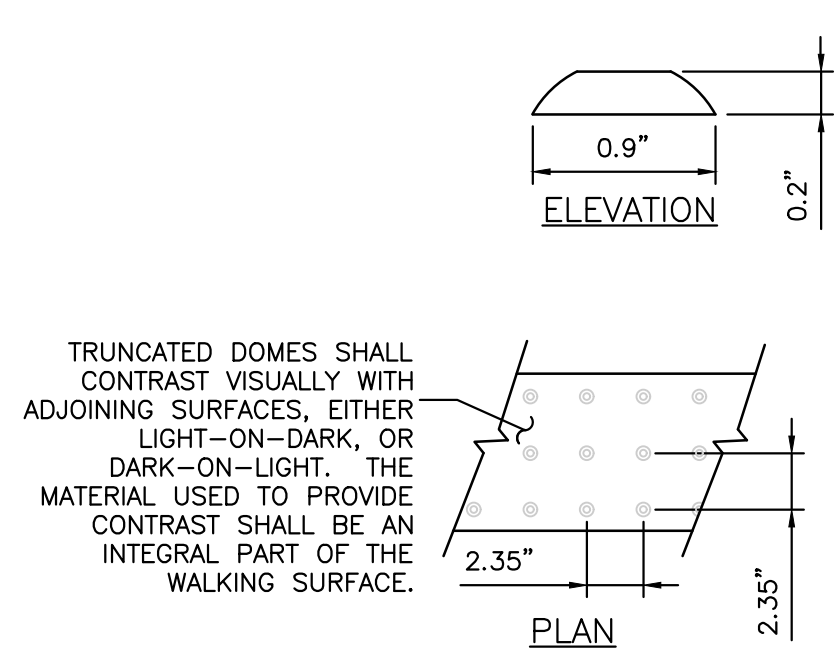
- NOTES:**
- MATERIAL AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE STATE DEPARTMENT OF TRANSPORTATION.
 - ALL CONCRETE SHALL BE 3,000 PSI CLASS A CONCRETE. CONCRETE MATERIALS, PLACEMENT, AND CONSTRUCTION SHALL CONFORM STATE DOT STANDARD SPECIFICATIONS.
 - REINFORCING STEEL FOR CONCRETE SHALL CONFORM WITH THE ABOVE REFERENCED STATE DOT STANDARD SPECIFICATIONS AND AS SPECIFICALLY CALLED OUT IN THE DRAWINGS.
 - ALL EXPOSED SURFACES SHALL HAVE A BROOM TEXTURED FINISH.
 - EXPANSION JOINTS SHALL BE LOCATED A MAXIMUM OF 20'-0" ON CENTER, OR AS INDICATED ON PLANS.
 - JOINTS SHALL NOT BE SAW CUT.
 - EXPOSED CONCRETE SURFACES SHALL BE TREATED WITH "SUREBOND"/"SAFEbond" SB-7000 INTENSIFIER BRIGHT PROTECTOR AND SIDEWALK SEALER, OR EQUAL. RATE AND METHOD OF APPLICATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 - SUBBASE MATERIAL SHALL CONFORM WITH STATE DOT STANDARD.
 - WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSE OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN CONFORMANCE WITH STATE DOT STANDARD SPECIFICATIONS.
 - CURB SHALL BE REVEALED BY 6 INCHES ABOVE GRADE UNLESS OTHERWISE NOTED ON THE PLAN.

SIDEWALK DETAIL
N.T.S.



NOTES:
1. THE SURFACE OF RAMP SHALL HAVE DETECTABLE WARNINGS. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES. SURFACE SHALL DIFFER FROM ADJOINING WALKING SURFACES IN RESILIENCY OR SOUND-ON-CANE CONTACT. SEE DETECTABLE WARNINGS DETAIL.
2. CONSTRUCT PER A.D.A. STANDARDS.

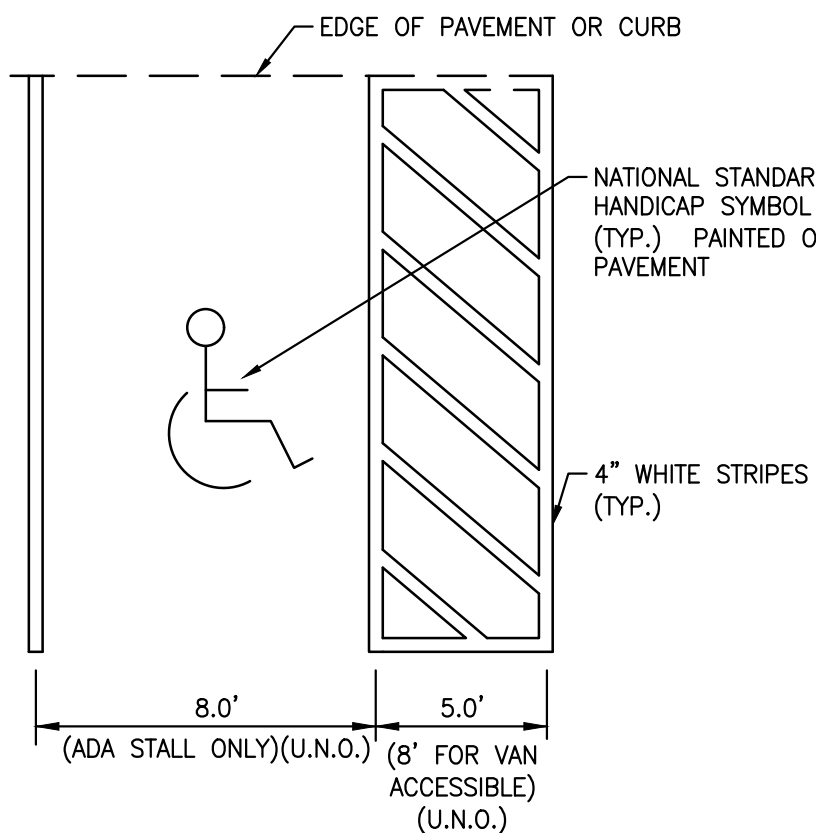
ADA WARNING STRIP DETAIL
N.T.S.



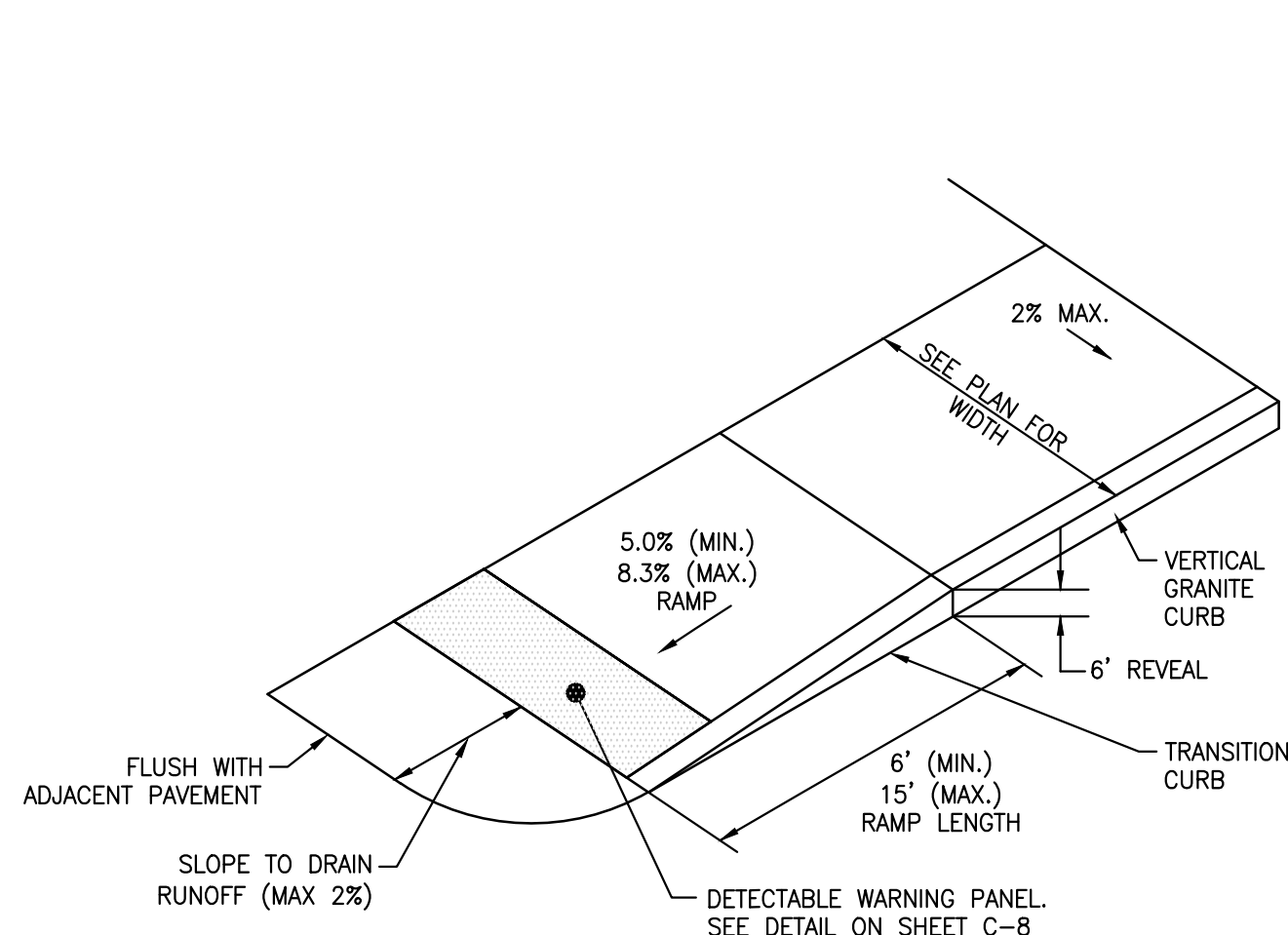
TRUNCATED DOMES SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE.

* PER A.D.A. ACCESSIBILITY GUIDELINES SECTION 4.29.2 & A4.29.2

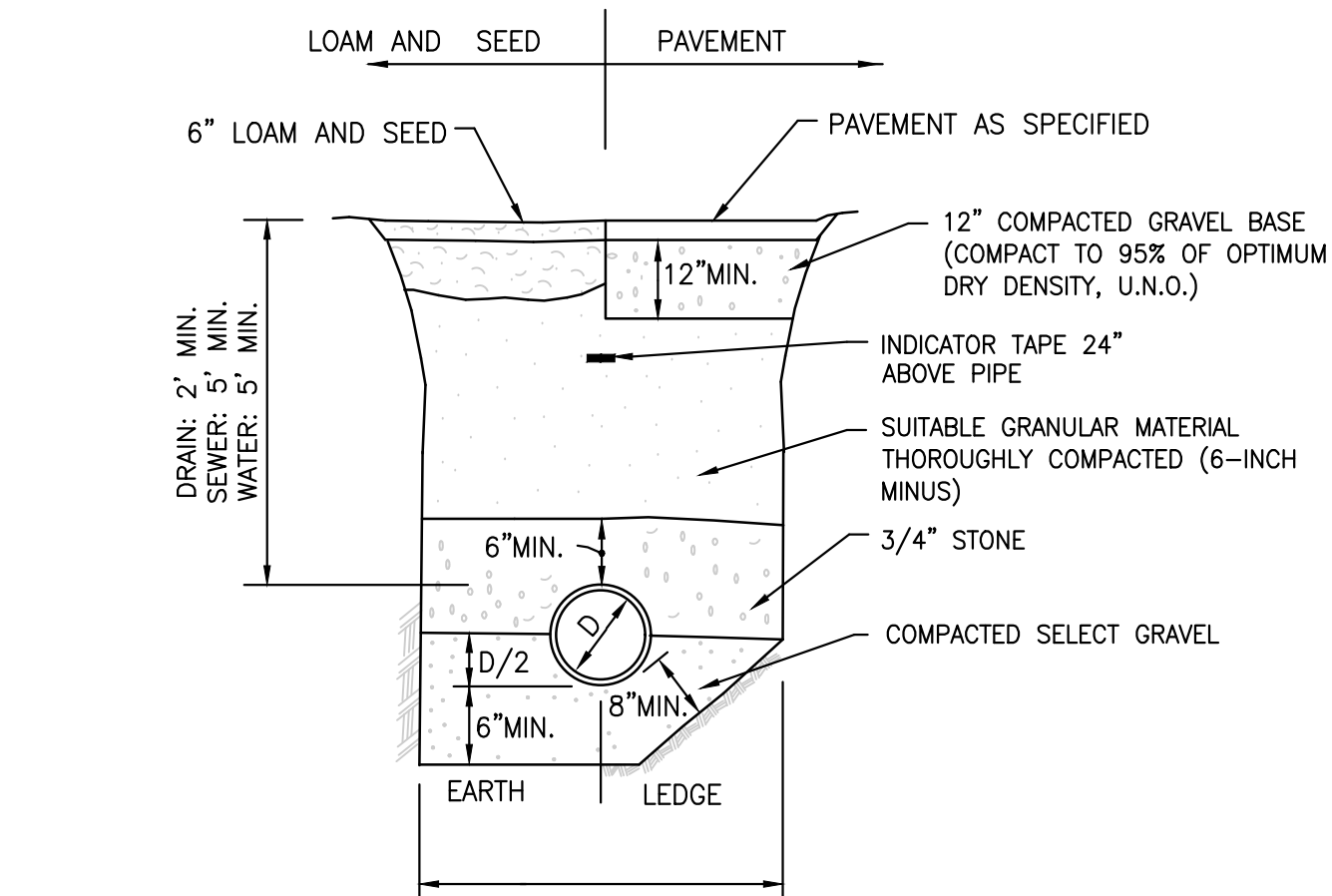
DETECTABLE WARNINGS DETAIL



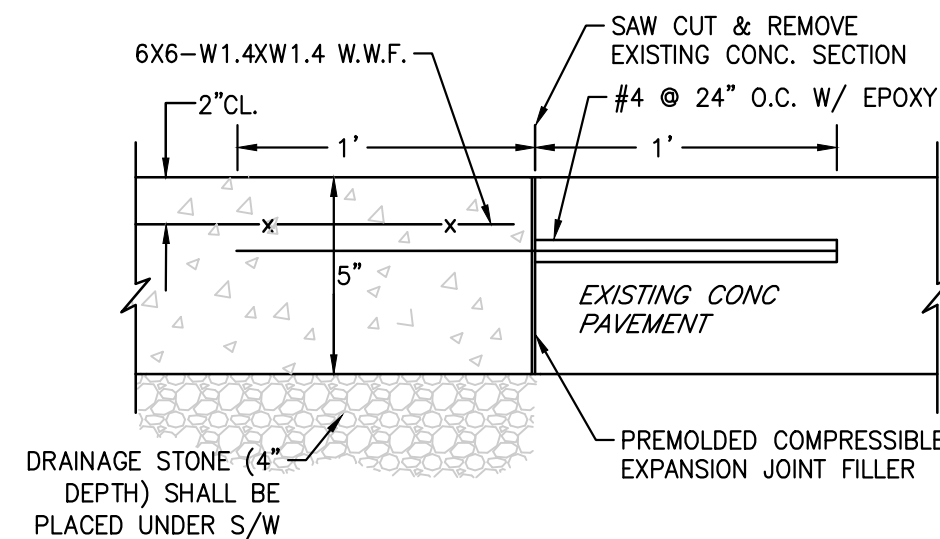
ADA PARKING STALL
N.T.S.



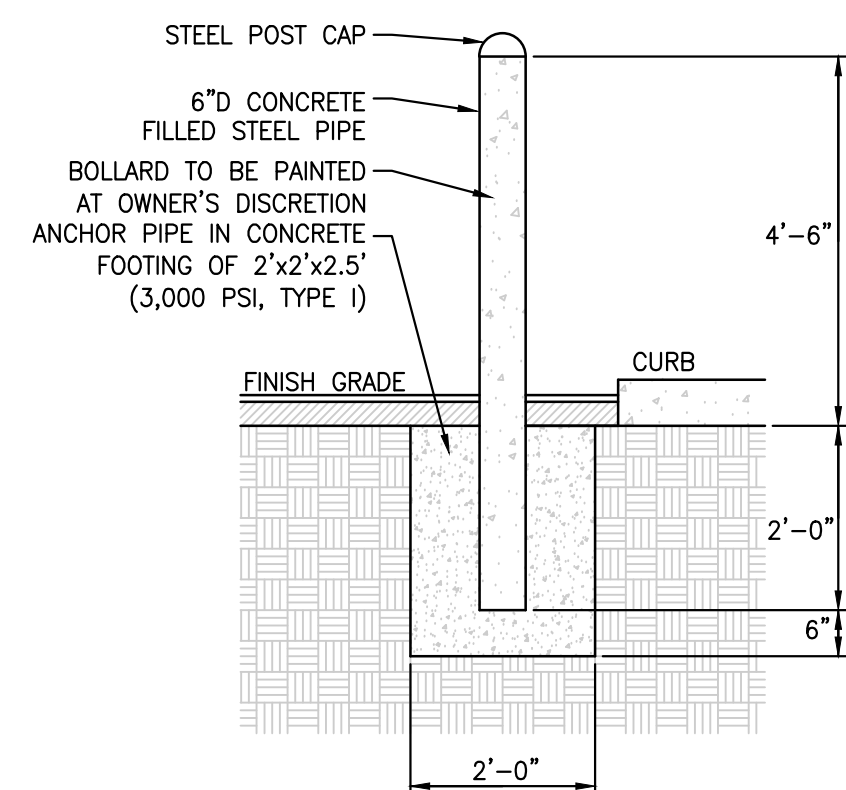
ADA ACCESSIBLE SIDEWALK RAMP
N.T.S.



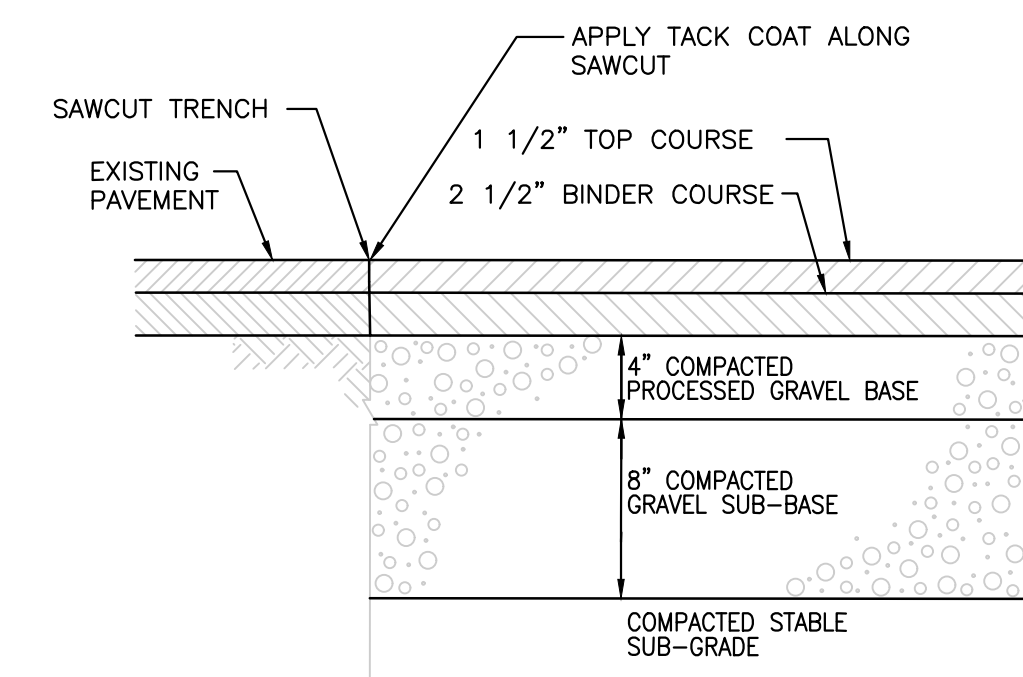
DRAIN/ SEWER/ WATER TRENCH AND BACKFILL DETAIL
N.T.S.



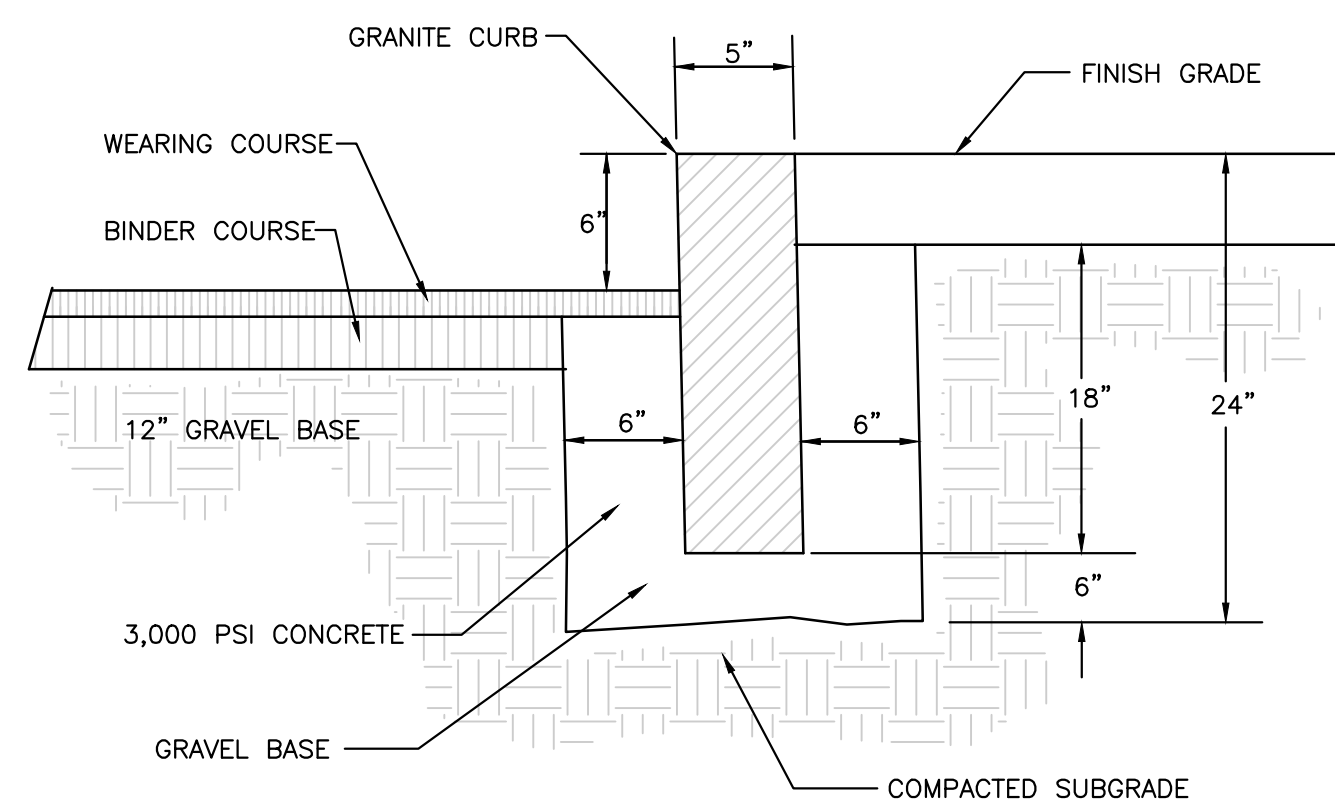
CONCRETE REMOVAL AND REPLACEMENT
N.T.S.



STEEL PIPE BOLLARD
N.T.S.



TYPICAL BITUMINOUS PAVEMENT SECTION
N.T.S.



VERTICAL GRANITE CURB
N.T.S.

REVISION	DATE	BY
REV-12 UNITS	2/1/22	GGF
DRIVE PATH REV.	4/6/22	GGF
ENG. COMMENTS	6/1/22	GGF
CPDC REVISION	9/7/22	GGF
REVISIONS	9/14/23	GGF

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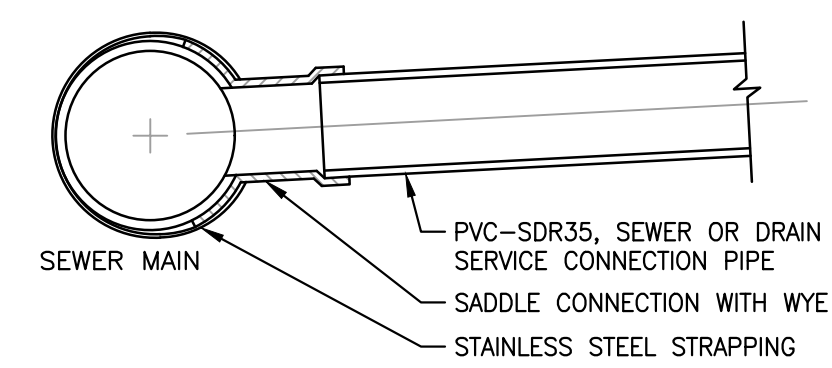
PROJECT LOCATION:
 459 MAIN STREET
 READING, MA 01867
PARCEL ID:
 MAP 17, PARCEL 62

PLAN SET:
PROPOSED 40R DEVELOPMENT
 459 MAIN STREET
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PROFESSIONAL SEAL:
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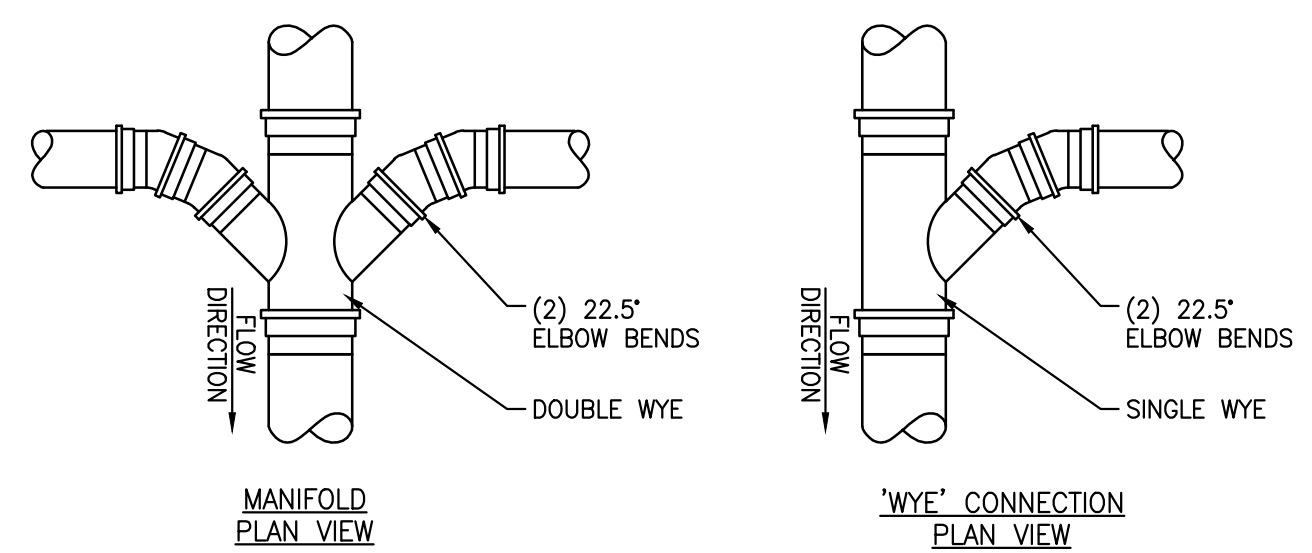
JOB NO.: 21228-238
SHEET TITLE:
 DETAILS SHEET

SHEET NUMBER:
 C-5

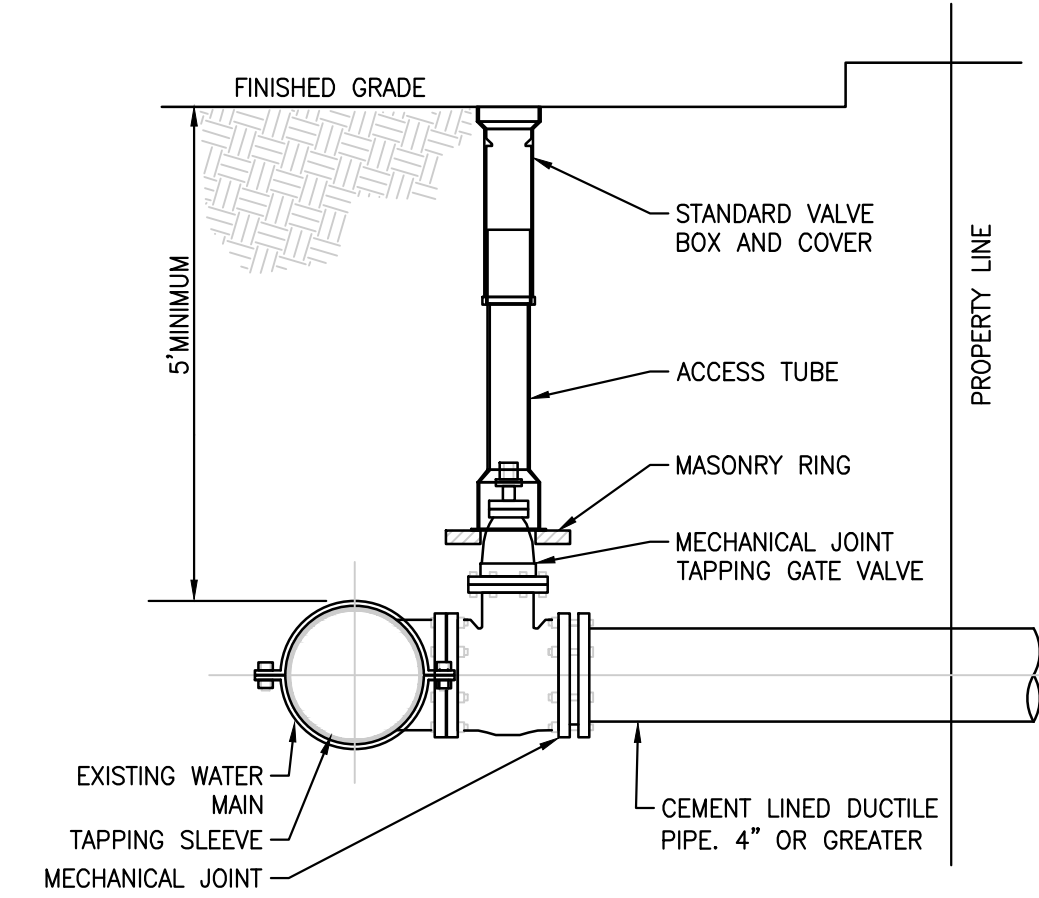


- NOTES:**
- FULL PVC OR IRON SADDLE MAY BE USED TO CONNECT TO EXISTING PVC, CLAY, CONCRETE, OR IRON PIPE. SADDLES MUST HAVE RUBBER GASKETS AND SHALL BE TIGHTENED WITH STRAPS. SADDLES SHALL NOT BE CEMENTED ONTO PIPE.
 - FULL NEW WYE CONNECTION FITTINGS MAY BE SUBSTITUTED FOR SADDLE CONNECTIONS.
 - PIPE SHALL BE CUT TO CONFORM TO THE OPENING IN THE SADDLE.
 - NO CONNECTION TO EXISTING PIPE WITHOUT SADDLE OR FULL NEW WYE FITTING SHALL BE MADE.
 - SHALL BE INSTALLED WITH A DOWNWARD ANGLE AND IN THE WYE FLOW DIRECTION.

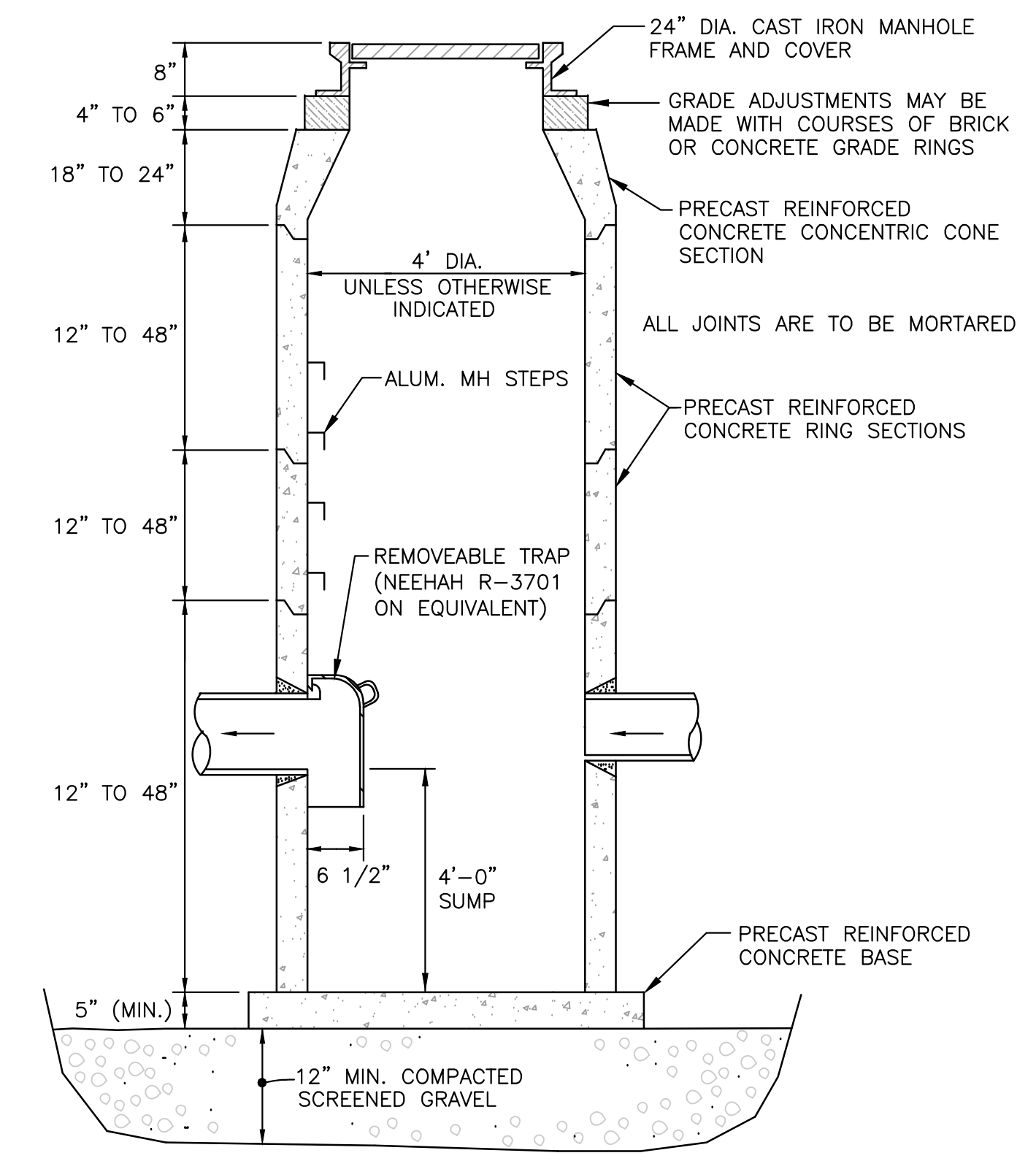
TYPICAL SADDLE CONNECTION
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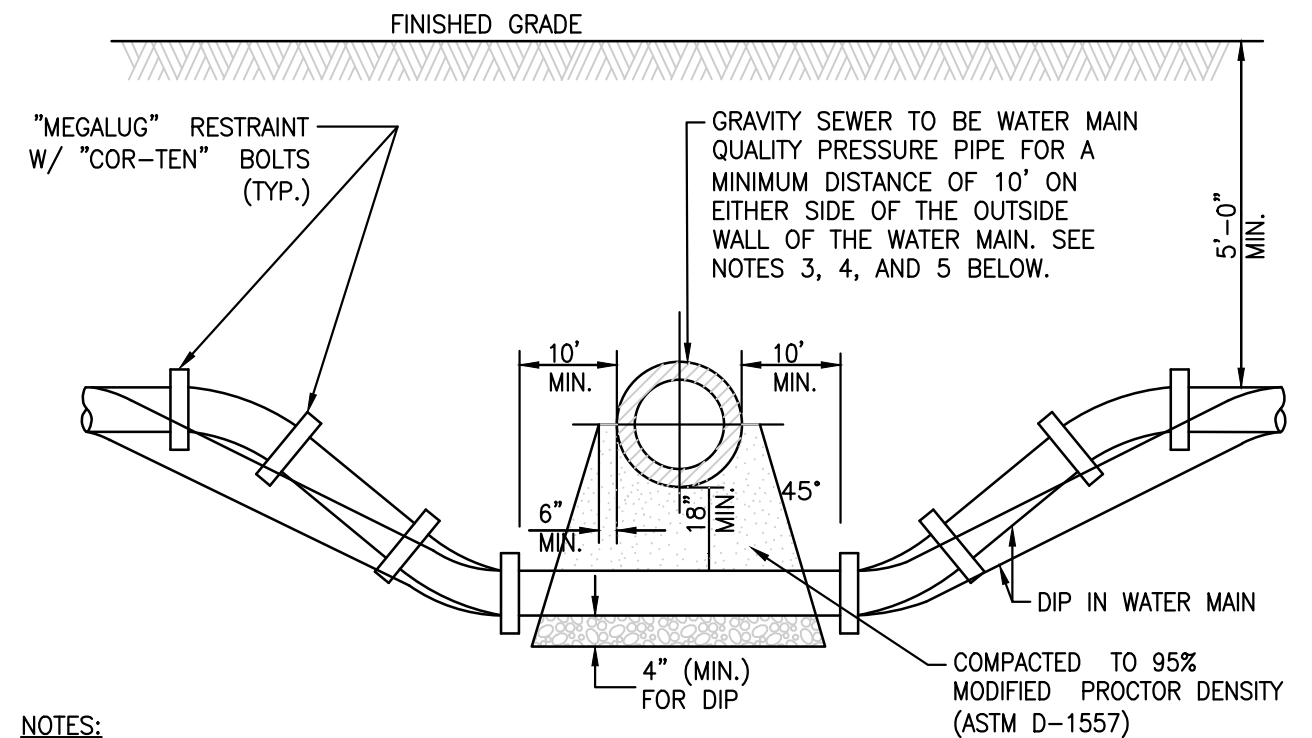
MANIFOLD AND WYE CONNECTIONS
 N.T.S.



WATER CONNECTION WITH TAPPING SLEEVE AND VALVE
 N.T.S.

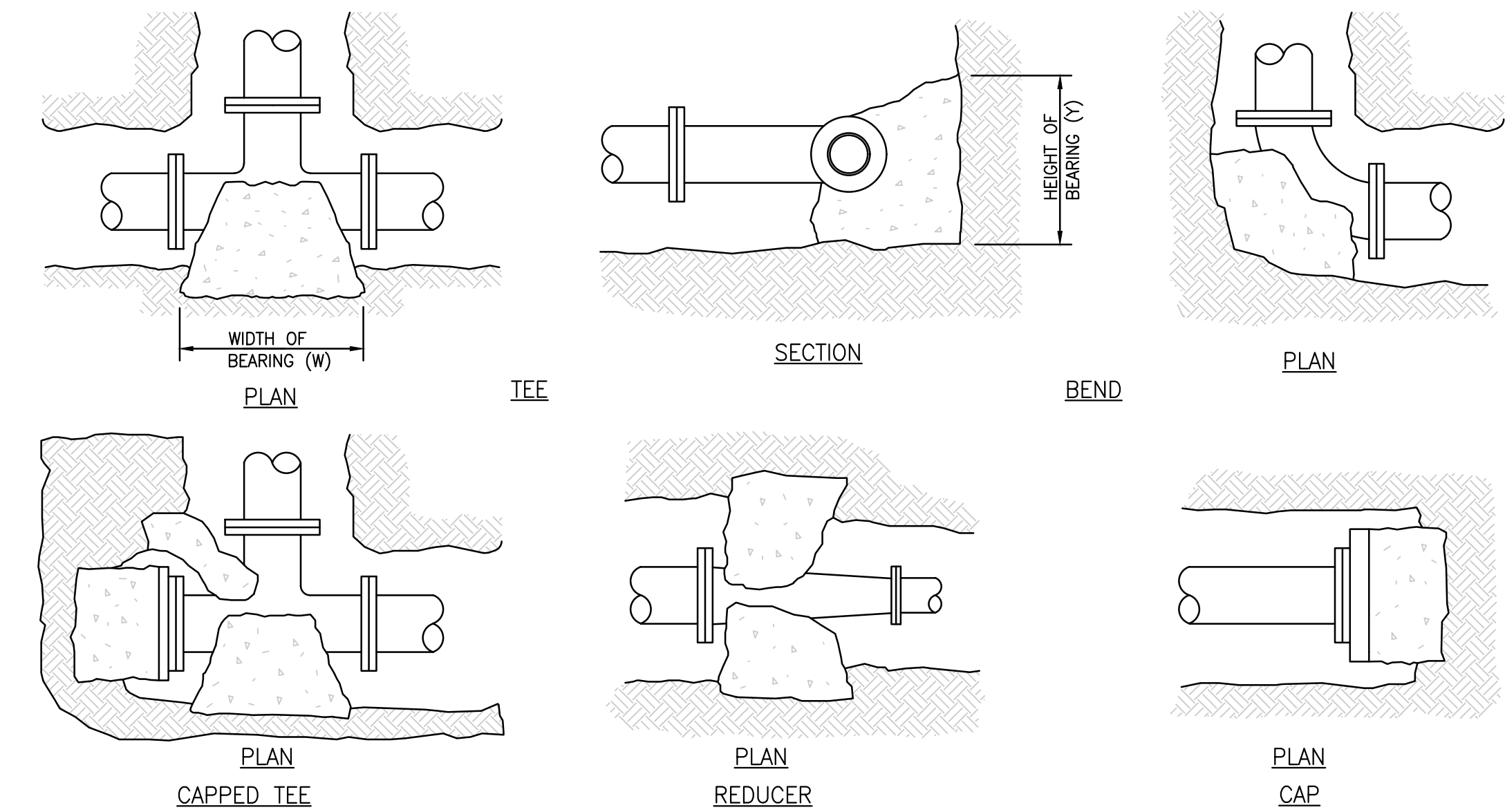


TYPICAL DRAIN MANHOLE + CATCH BASIN
 N.T.S.



- NOTES:**
- HORIZONTAL AND VERTICAL SEPARATION BETWEEN WATERMANS AND SEWERS SHALL COMPLY WITH APPLICABLE SECTIONS OF LOCAL OR STATE REQUIREMENTS, WHICHEVER IS MORE STRINGENT.
 - CONTRACTOR MAY BEND WATER MAIN PIPE UNIFORMLY UNDER SEWERS WITHOUT USING FITTINGS, PROVIDED THAT JOINT DEFLECTION DOES NOT EXCEED 5 DEGREES PER JOINT FOR PIPE UNDER 14" IN DIAMETER AND 3 DEGREES PER JOINT FOR PIPE 14" AND OVER IN DIAMETER. IF FITTINGS ARE USED, CONTINUOUS STRAPPING WITH RODS, STRAPS, NUTS AND BOLTS BELOW NORMAL WATERMAIN DEPTH ARE REQUIRED, OR RETAINER GLANDS MAY BE USED IN LIEU OF STRAPPING. RETAINER GLANDS TO BE CLOW No. F-1058 OR APPROVED EQUAL.
 - ALL SANITARY SEWER (INCLUDING SERVICE) CROSSINGS WHERE THE WATER MAINS OR WATER SERVICES ARE LESS THAN 18" VERTICALLY ABOVE THE SEWER SHALL BE POLYVINYL CHLORIDE PRESSURE PIPE (SDR 26-160 PSI) AND SHALL CONFORM WITH THE LATEST REVISION OF ASTM D-2241. JOINTS SHALL CONFORM TO ASTM D-3139 AND ELASTOMERIC GASKETS SHALL CONFORM TO ASTM F-477. THE SAME PIPE AND JOINT MATERIALS SHALL BE USED WHENEVER WATER MAIN CROSSES BELOW THE SEWER.
 - ALL STORM SEWER (INCLUDING SERVICE) CROSSINGS WHERE THE WATER MAINS ARE LESS THAN 18" VERTICALLY ABOVE THE SEWER SHALL BE REINFORCED CONCRETE PIPE, ASTM C-361, CLASS D-25, WITH BELL AND SPIGOT JOINTS AND RUBBER GASKETS, OR PVC SDR 26 AS SPECIFIED IN SECTION 3 ABOVE. THE SAME PIPE AND JOINT MATERIAL SHALL BE USED WHENEVER WATER MAIN CROSSES BELOW THE SEWER.
 - FOR NEW SEWER INSTALLATIONS CROSSING OVER WATER MAINS, THE ENTIRE RUN OF NEW SEWER SHALL BE WATER MAIN QUALITY PIPE, EXTENDING FROM STRUCTURE TO STRUCTURE ON EACH SIDE OF THE CROSSING.

WATER MAIN CROSSING
 N.T.S.



PIPE SIZE	WATER PIPE	
	TEE, DEAD END, 90° BEND	45° & 22-8° BENDS
4" OR LESS	3 SQ. FEET	3 SQ. FEET
6"	4 SQ. FEET	3 SQ. FEET
8"	6 SQ. FEET	3 SQ. FEET
10"	9 SQ. FEET	5 SQ. FEET
12"	13 SQ. FEET	7 SQ. FEET
16"	23 SQ. FEET	12 SQ. FEET

- NOTES:**
- THRUST BLOCKS TO EXTEND TO UNDISTURBED GROUND.
 - ALL CONCRETE SHALL BE CLASS B.
 - TABLE IS BASED ON 3000 LB./SQ. FT. SOIL. IF SOIL CONDITIONS ARE FOUND TO INDICATE SOIL BEARING LESS, THE AREAS SHALL BE INCREASED ACCORDINGLY.
 - AREAS FOR PIPES GREATER THAN 16" SHALL BE CALCULATED FOR EACH PROJECT.
 - FOR ALL NON BEARING VERTICAL SURFACES.

THRUST BLOCKS FOR WATER SYSTEM
 N.T.S.

corten steel series

span planter

corten steel*



* all corten steel products arrive in their raw steel (unrusted) state as shown in contents page.




materials

made from 16 gauge corten steel

features

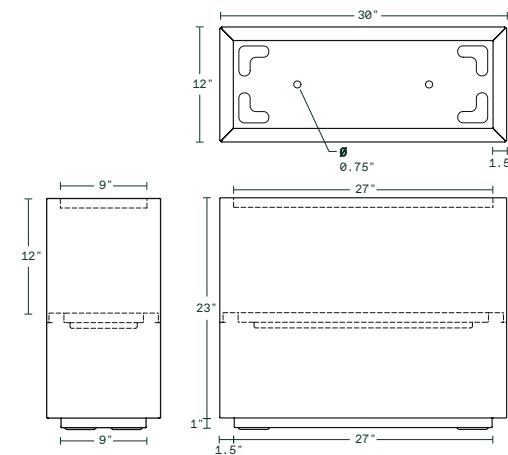
- all weather resistant
- commercial grade construction
- foam insulation
- insert shelf included
- drainage holes
- assembly required
- optional drip tray
- easy installation

hardware included

-  butterfly nut - m6 x 1mm thread
-  hex bolt - m6 x 1mm thread, 12mm long
-  floating snap-in nut - m6 x 1mm thread

span short

30"L x 12"W x 24"H
weight: 53 lbs
capacity: 37.4 gal | 141.5 L
capacity with shelf: 18.7 gal | 70.7 L



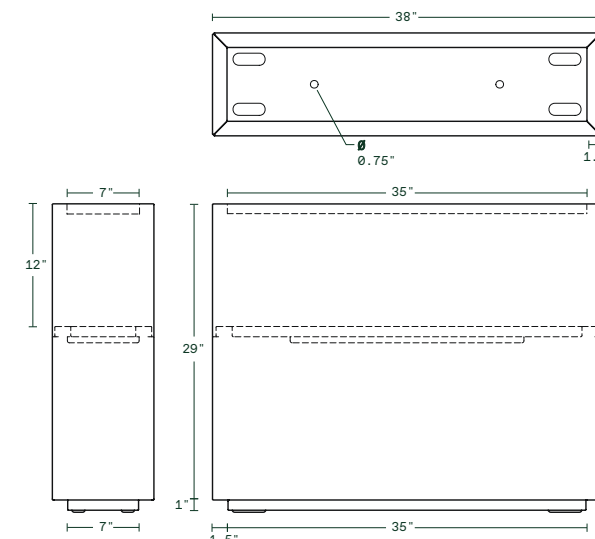
interior dimensions



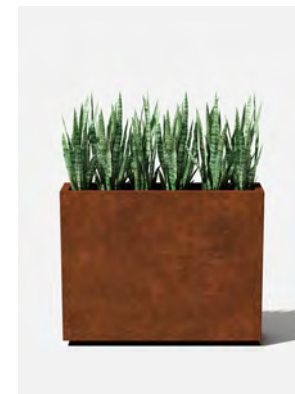
exterior dimensions

span medium

38"L x 10"W x 30"H
weight: 69 lbs
capacity: 49.3 gal | 186.8 L
capacity with shelf: 19.7 gal | 74.7 L



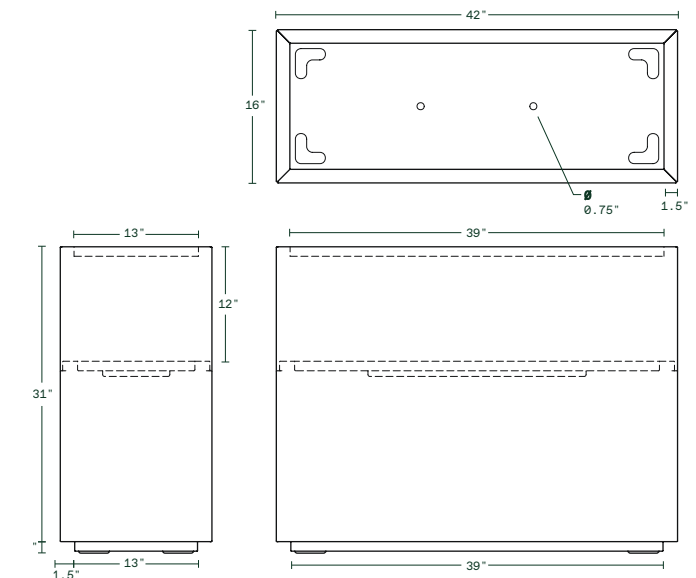
interior dimensions



exterior dimensions

span large

42"L x 16"W x 32"H
weight: 86 lbs
capacity: 93 gal | 352.3 L
capacity with shelf: 34.9 gal | 132.1 L



interior dimensions



exterior dimensions

corten steel series

long box planter

(page: 1 of 2)

corten steel*

* all corten steel products arrive in their raw steel (unrusted) state as shown in contents page.




materials

made from 16 gauge corten steel

features

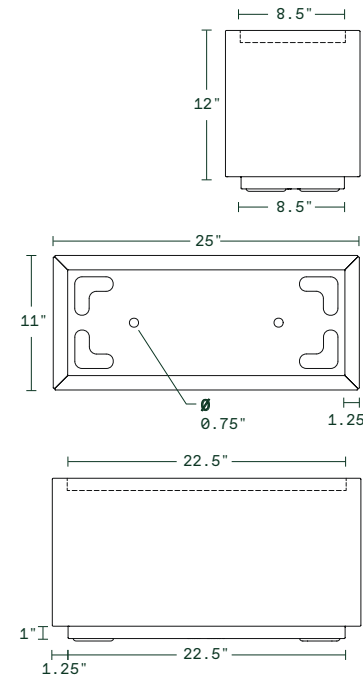
- all weather resistant
- foam insulation
- drainage holes
- optional drip tray
- easy installation
- commercial grade construction
- drainage plugs included
- assembly required

hardware included

-  butterfly nut - m6 x 1mm thread
-  hex bolt - m6 x 1mm thread, 12mm long
-  floating snap-in nut - m6 x 1mm thread

long box small

25"L x 11"W x 13"H
weight: 23 lbs
capacity: 15.4 gal | 58.6 L



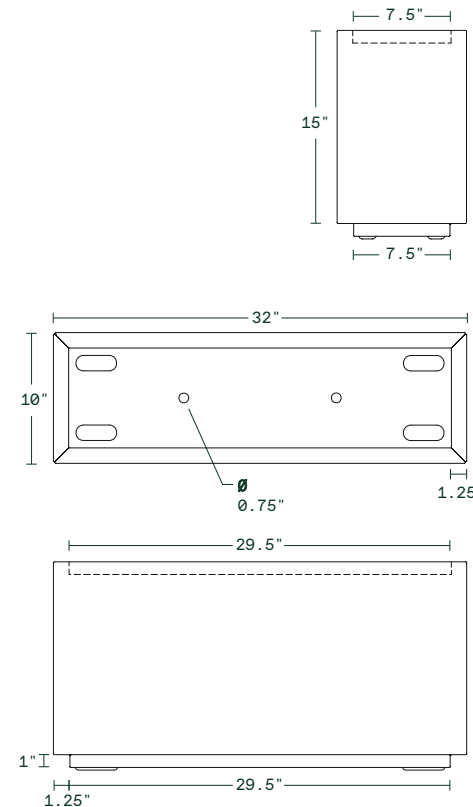
interior dimensions



exterior dimensions

long box medium

32"L x 10"W x 16.25"H
weight: 26 lbs
capacity: 22.8 gal | 86.6 L



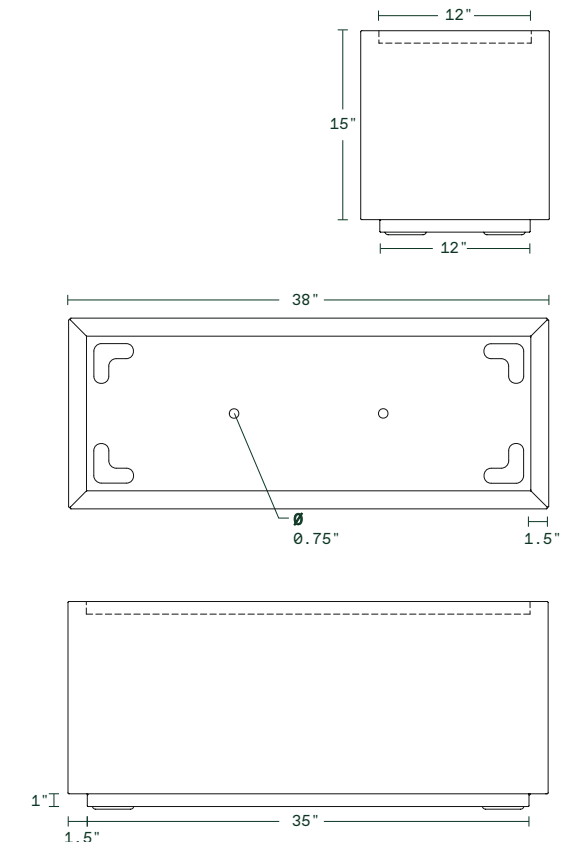
interior dimensions



exterior dimensions

long box large

38"L x 15"W x 16.25"H
weight: 35 lbs
capacity: 40 gal | 151.7 L



interior dimensions



exterior dimensions

corten steel series

long box planter

(page: 2 of 2)

corten steel*

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materials

made from 16 gauge corten steel

features

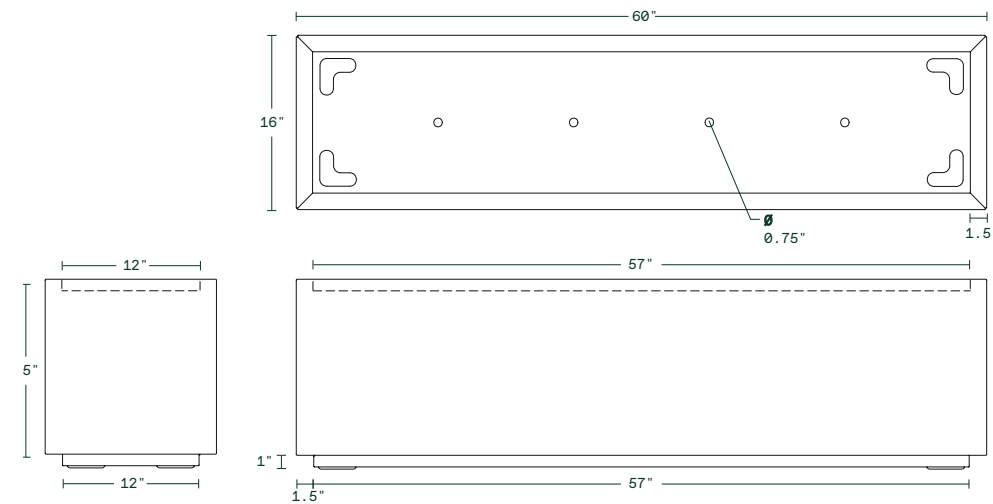
- | | |
|-----------------------|-------------------------------|
| all weather resistant | commercial grade construction |
| foam insulation | drainage plugs included |
| drainage holes | assembly required |
| optional drip tray | |
| easy installation | |

hardware included

-  butterfly nut - m6 x 1mm thread
-  hex bolt - m6 x 1mm thread, 12mm long
-  floating snap-in nut - m6 x 1mm thread

long box extra large

60"L x 15"W x 16.25"H
weight: 64 lbs
capacity: 64.2 gal | 243.2 L



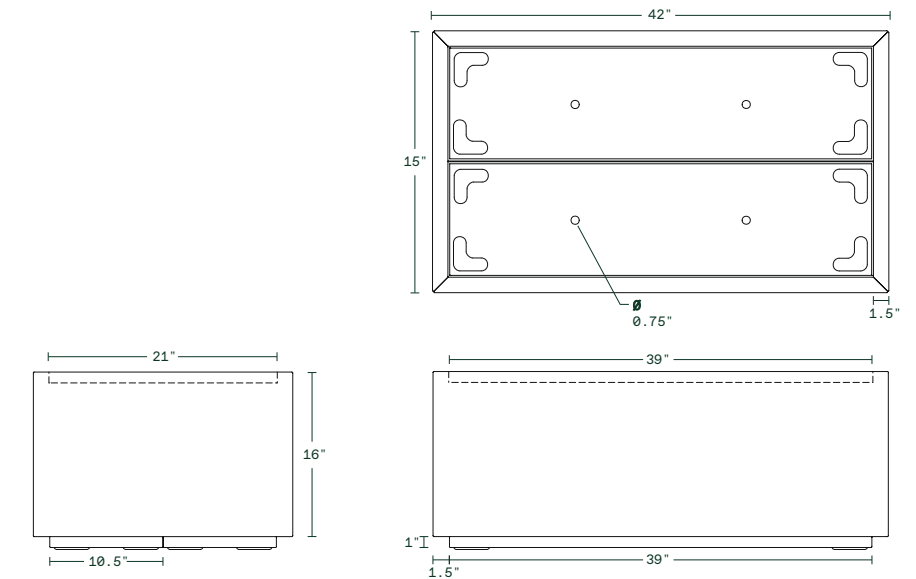
interior dimensions



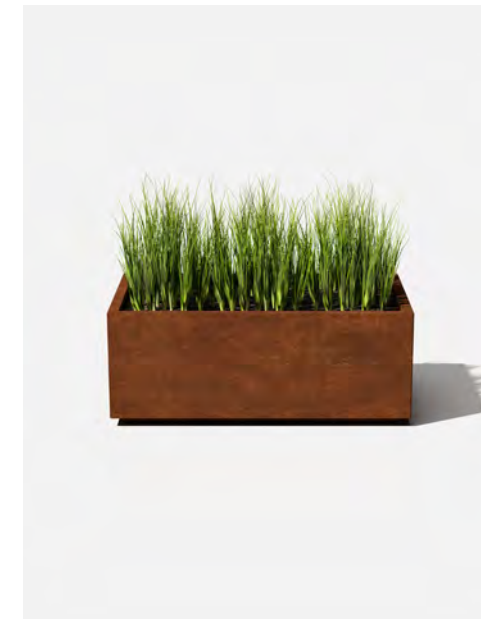
exterior dimensions

long box wide

42"L x 24"W x 16.25"H
weight: 58 lbs
capacity: 70.9 gal | 268.4 L



interior dimensions



exterior dimensions

corten steel series

cube planter

corten steel*



* all corten steel products arrive in their raw steel (unrusted) state as shown in contents page.

materials

made from 16 gauge corten steel

features

- all weather resistant
- commercial grade construction
- foam insulation
- drainage plugs included
- drainage holes
- easy installation
- assembly required

hardware included



butterfly nut - m6 x 1mm thread



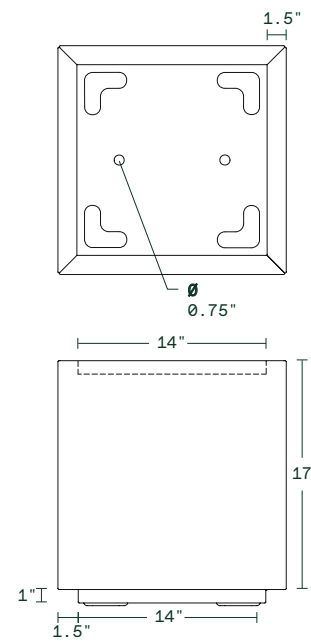
hex bolt - m6 x 1mm thread, 12mm long



floating snap-in nut - m6 x 1mm thread

cube small

17"L x 17"W x 18"H
weight: 26 lbs
capacity: 22.5 gal | 85.2 L



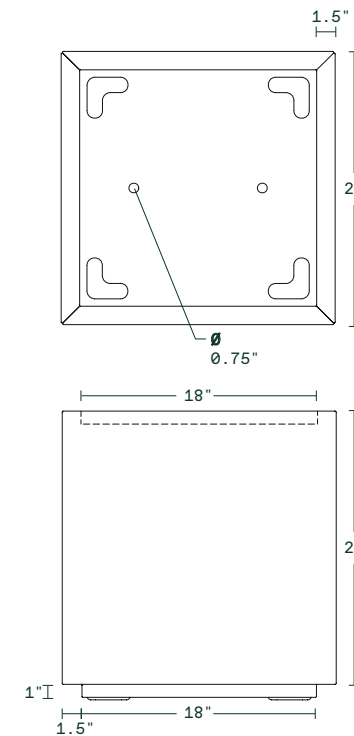
interior dimensions



exterior dimensions

cube medium

21"L x 21"W x 22"H
weight: 39 lbs
capacity: 42 gal | 158.9 L



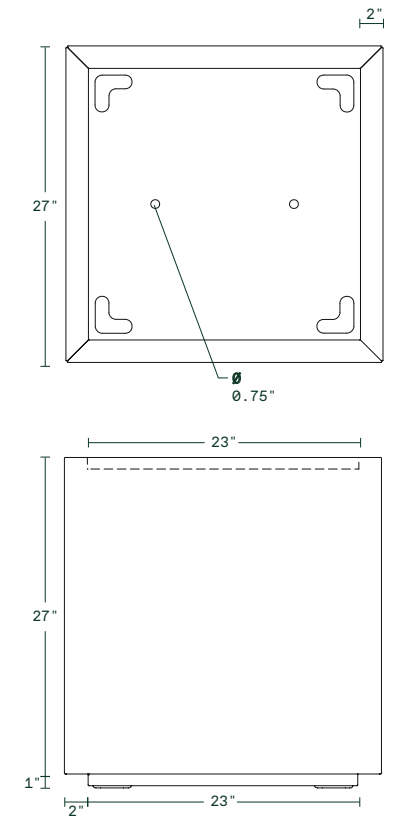
interior dimensions



exterior dimensions

cube large

27"L x 27"W x 28"H
weight: 67 lbs
capacity: 88.3 gal | 334.5 L



interior dimensions



exterior dimensions

corten steel series

pedestal planter

corten steel*



* all corten steel products arrive in their raw steel (unrusted) state as shown in contents page.




materials

made from 16 gauge corten steel

features

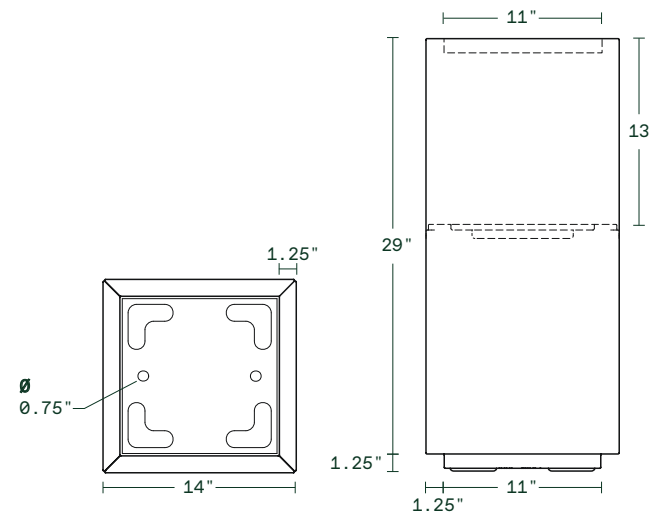
- all weather resistant
- foam insulation
- drainage hole
- commercial grade construction
- easy installation
- drainage plugs included
- tall planter ONLY: optional drip tray
- assembly required

hardware included

-  butterfly nut - m6 x 1mm thread
-  hex bolt - m6 x 1mm thread, 12mm long
-  floating snap-in nut - m6 x 1mm thread

pedestal short

13.5"L x 13.5"W x 30"H
weight: 36 lbs
capacity: 23.6 gal | 89.4 L
capacity with shelf: 10.2 gal | 38.7 L



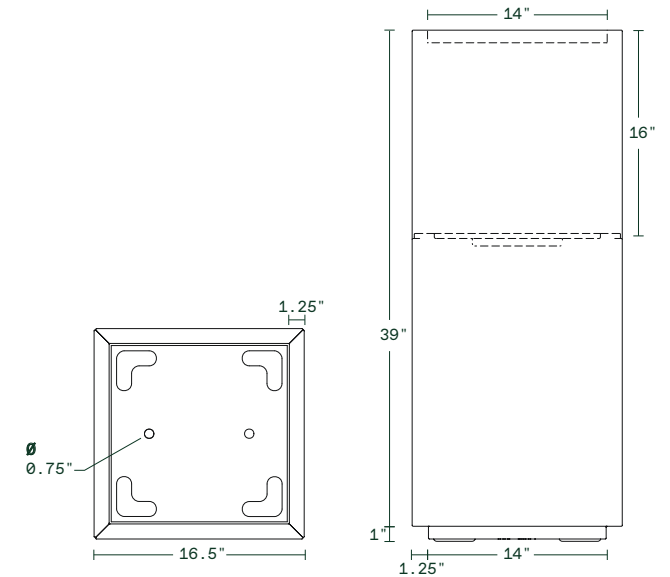
interior dimensions



exterior dimensions

pedestal tall

16.5"L x 16.5"W x 40"H
weight: 61 lbs
capacity: 47.1 gal | 178.4 L
capacity with shelf: 18.8 gal | 71.3 L



interior dimensions



exterior dimensions

corten steel series

corner box planter

corten steel*



* all corten steel products arrive in their raw steel (unrusted) state as shown in contents page.

materials

made from 16 gauge corten steel

features

all weather resistant	commercial grade construction
foam insulation	drainage plugs included
drainage holes	easy installation
easy installation	assembly required

hardware included



butterfly nut - m6 x 1mm thread



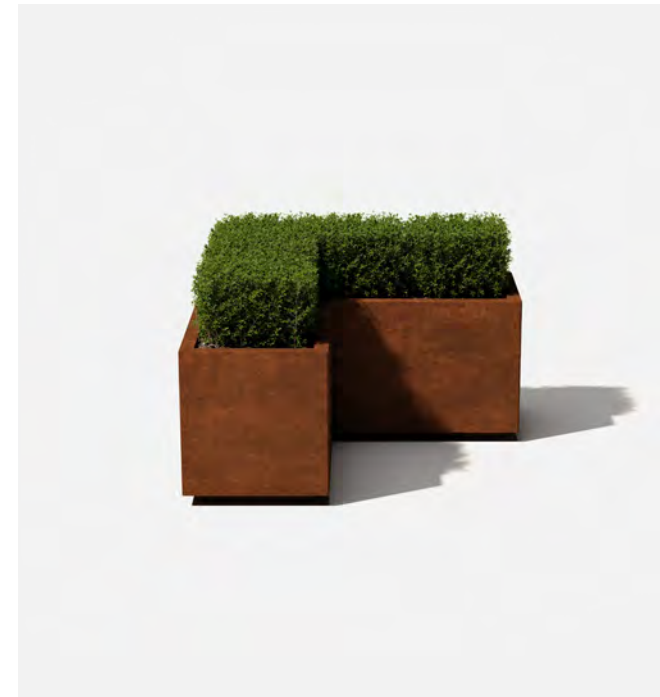
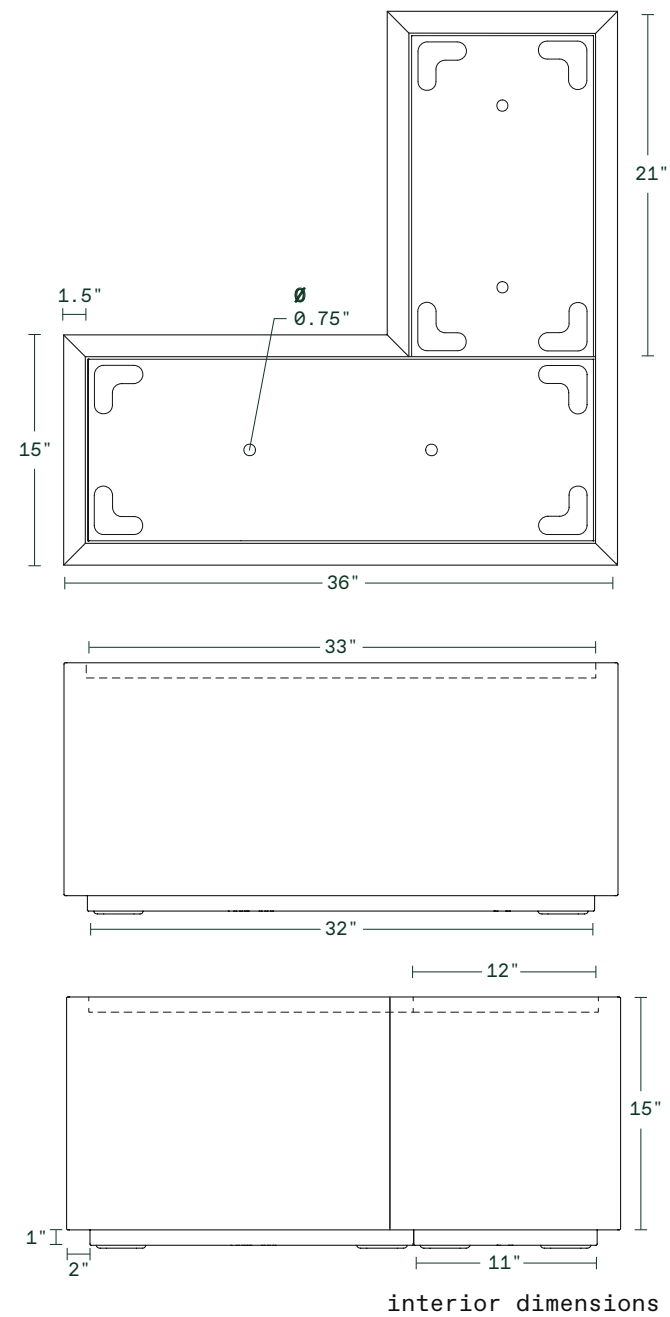
hex bolt - m6 x 1mm thread, 12mm long



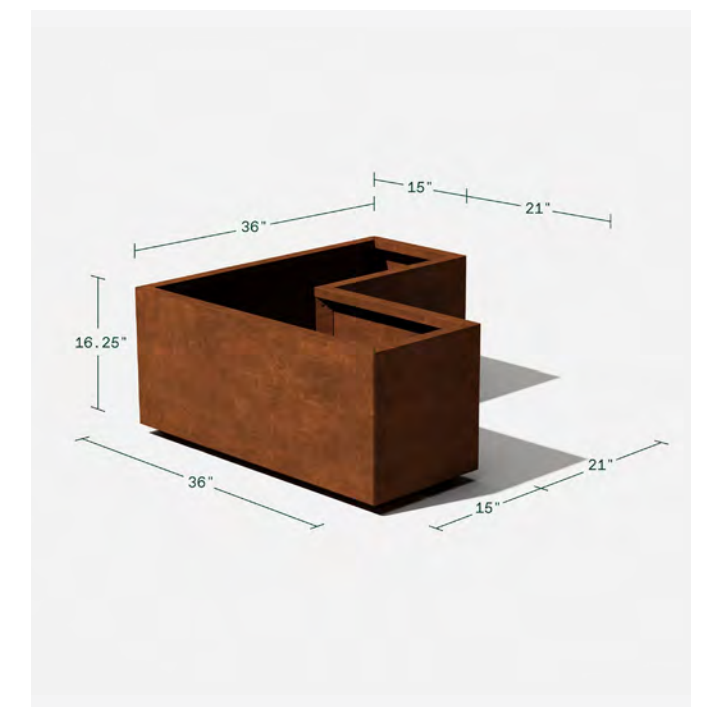
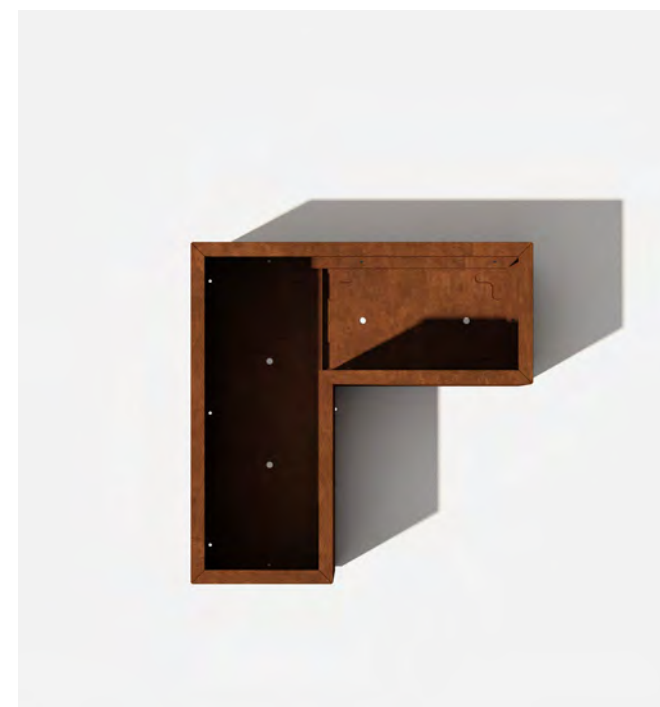
floating snap-in nut - m6 x 1mm thread

corner box planter

36"L x 36"W x 16.25"H
weight: 70lbs
capacity: 60.1gal | 227.6L



raw steel state



metallic series

span planter

black



gray



white

(short + medium only)



materials

made from 16 gauge galvanized steel

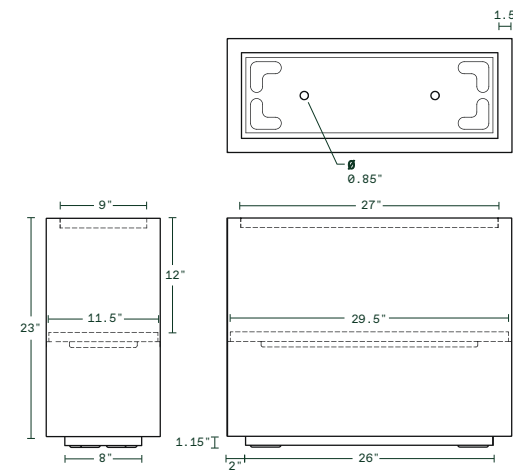
features

- all weather resistant
- foam insulation
- rust resistant
- scratch resistant
- powder coat
- drainage holes

- optional drip tray
- insert shelf included
- drainage plugs included
- commercial grade construction

span short

30" L x 12" W x 24" H
 Weight: 53 lbs
 Capacity: 37.4 gal | 141.5 L
 Capacity with Shelf: 18.7 gal | 70.7 L



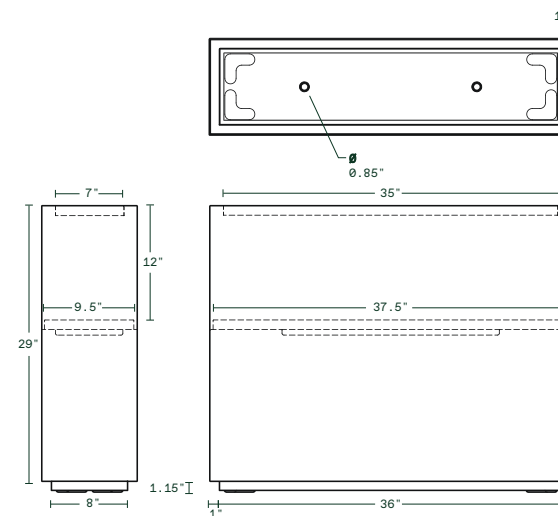
Interior Dimensions



Exterior Dimensions

span medium

38" L x 10" W x 30" H
 Weight: 69 lbs
 Capacity: 49.3 gal | 186.8 L
 Capacity with Shelf: 19.7 gal | 74.7 L



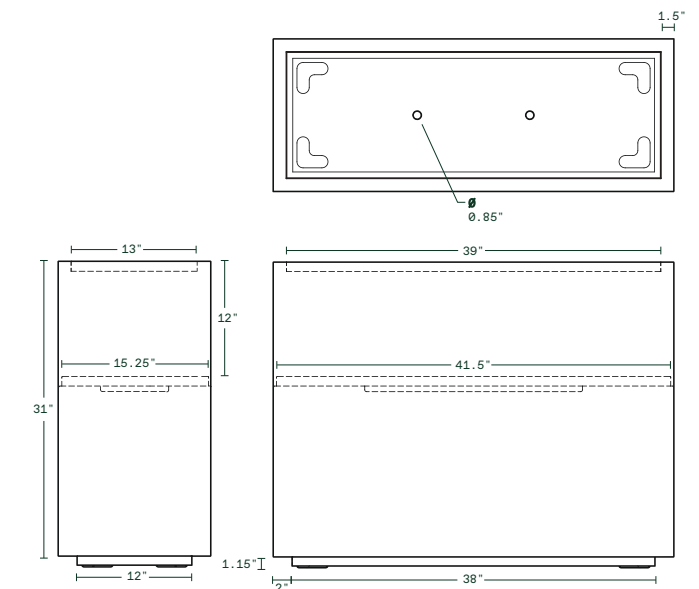
Interior Dimensions



Exterior Dimensions

span large

42" L x 16" W x 32" H
 Weight: 86 lbs
 Capacity: 93 gal | 352.3 L
 Capacity with Shelf: 34.9 gal | 132.1 L



Interior Dimensions



Exterior Dimensions



Town of Reading
16 Lowell Street
Reading, MA 01867

Andrew MacNichol
Senior Planner
Phone: 781.942-6670
Fax: 781.942-9071
Website: www.readingma.gov

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READING, MA.
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2022 SEP 12 PM 11:34

September 12, 2022

Downtown Smart Growth District (DSGD) Plan Review
M.G.L. Chapter 40R
DECISION

Project: 459 Main Street
Applicant: GC Fodera Contracting, Inc.

To the Town Clerk:

This is to certify that, at a public hearing of the Community Planning and Development Commission opened on February 7, 2022, discussed on March 14, 2022, April 11, 2022, May 16, 2022, June 13, 2022, August 8, 2022, September 12, 2022 and closed on September 12, 2022 by a motion duly made and seconded, it was voted:

“We, the Reading Community Planning and Development Commission, upon request from the GC Fodera Contracting, Inc., under Section 10.5 of the Zoning Bylaws of the Town of Reading, and MGL Chapter 40R, to consider the application for 40R Development Plan Review to construct a 4-story mixed-use building, and approximately 1,455 square feet of interior commercial space with an at grade garage containing 20 parking spaces, at 459 Main Street (Assessors Map 17, Lot 62) – as shown on the architectural plans prepared by Olinger Architects and the site plans prepared by Fodera Engineering, and listed below, and with housing units as approved and conditioned herein – do hereby vote 3-1-0, to **APPROVE** the 40R Development Plan, inclusive of the listed waivers, subject to the Findings and Conditions below.”

Materials Submitted:

The following materials were submitted into the public record:

- a) Certified List of Abutters, dated 11/3/21;
- b) DSGD Development Application Form, dated 12/6/21;
- c) 459 Main Street Redevelopment Packet including: Project Narrative; Design Guideline Summary; Requested Waivers; and Land Owner Authorization, dated 12/6/21;
- d) Legal Notice, published in the Daily Times Chronicle on 1/20/22 and 1/27/22, and posted with the Town Clerk on 1/20/22;
- e) Adjustment of Public Hearing Notice, published in the Daily Times Chronicle on 8/24/22 and 8/31/22, and posted with the Town Clerk on 8/24/22;
- f) Civil Engineering Plan Set for 459 Main Street Proposed 40R Development, Reading, MA, prepared by Fodera Engineering, Inc., consisting of:

- a. Sheet C-1: Existing Conditions Survey Plan, dated 12/1/21;
- b. Sheet C-2: Proposed Site Plan, originally dated 12/1/21, and most recently revised 9/7/22;
- c. Sheet C-3: Proposed Utility Plan, originally dated 12/1/21, and most recently revised 9/7/22;
- d. Sheet C-4: Details Sheet, originally dated 12/1/21, and most recently revised 9/7/22;
- e. Sheet C-5: Details Sheet, originally dated 12/1/21, and most recently revised 9/7/22;
- f. Sheet C-6: Vehicle Tracking, originally dated 12/1/21, and most recently revised 9/7/22;
- g) Architectural Plan Set for 459 Main Street Redevelopment, Reading, MA, prepared by Olinger Architects and prepared for GC Fodera Contracting Company, consisting of:
 - a. Sheet G-000: Cover Sheet, dated 11/17/21, and most recently revised 4/5/22;
 - b. Sheet G-001: Project Information, Levels One through Four, dated 12/1/21, and most recently revised 3/7/22;
 - c. Sheet G-002: Zoning Guidelines, dated 12/1/21, and most recently revised 5/31/22;
 - d. Sheet G-003: Shadow Study, dated 12/1/21, and most recently revised 1/18/22;
 - e. Sheet G-004: Project Views, dated 12/1/21, and most recently revised 4/5/22;
 - f. Sheet G-005: Ground Level AXO, dated 12/1/21, and most recently revised 5/31/22;
 - g. Sheet G-006: Project Materials Board, dated 12/1/21, and most recently revised 1/18/22;
 - h. Sheet G-007: Context Elevations, dated 12/1/21, and most recently revised 1/18/22;
 - i. Sheet A-001: Site Plan, dated 12/1/21, and most recently revised 3/7/22;
 - j. Sheet A-002: Exterior Area Detail Plans, dated 12/1/21, and most recently revised 5/31/22;
 - k. Sheet A-100: Basement Plan, dated 12/1/21, and most recently revised 3/7/22;
 - l. Sheet A-101: Level 01 Plan, dated 12/1/21, and most recently revised 9/7/22;
 - m. Sheet A-102: Level 02 Plan, dated 12/1/21, and most recently revised 5/31/22;
 - n. Sheet A-103: Level 03 Plan, dated 12/1/21, and most recently revised 1/18/22;
 - o. Sheet A-104: Level 04 Plan, dated 12/1/21, and most recently revised 1/18/22;
 - p. Sheet A-105: Roof Plan, dated 12/1/21, and most recently revised 1/18/22;
 - q. Sheet A-300: Composite Elevations, dated 12/1/21, and most recently revised 5/31/22;
 - r. Sheet A-310: West Building Elevation, dated 12/1/21, and most recently revised 3/7/22;
 - s. Sheet A-312: South Building Elevation, dated 12/1/21, and most recently revised 5/31/22;
 - t. Sheet A-313: East Building Elevation, dated 12/1/21, and most recently revised 5/31/22;
 - u. Sheet A-314: North Building Elevation, dated 12/1/21, and most recently revised 4/5/22;
 - v. Sheet A-315: Corner and Misc. Elevation, dated 12/1/21, and most recently revised 1/18/22;
 - w. Sheet A-400: Building Sections, dated 12/1/21, and most recently revised 4/5/22;
 - x. Sheet A-401: Wall Sections One, dated 12/1/21, and most recently revised 5/31/22;
 - y. Sheet A-402: Wall Sections Two, dated 12/1/21, and most recently revised 4/5/22;
 - z. Sheet A-500: Stair Section One, dated 12/1/21, and most recently revised 1/18/22;
 - aa. Sheet A-501: Stair Section Two, dated 12/1/21, and most recently revised 1/18/22;
 - bb. Sheet SK-1: Detailed GFA Calculations, dated 9/12/22;
- h) Stormwater Management Report, 459 Main Street Redevelopment, prepared by Fodera Engineering, dated 12/2/21;
- i) 459 Main Street, Project Manual:
 - a. Traffic Impact Assessment, prepared by TEC, dated 11/17/21, and most recently revised 3/7/22;
 - b. Supplemental Traffic Impact Assessment, prepared by The Engineering Corp, dated 6/1/22;
 - c. Revised Trip Distribution Gravity Model – Residential, provided by The Engineering Corp, received 9/7/22;
 - d. Photometric Analysis, prepared by DIALux, dated 11/16/21;
- j) Summary Letter to CPDC, provided by Regnante Sterio LLP, dated 3/7/22;

- k) Summary Letter to CPDC, provided by Regnante Sterio LLP, dated 4/6/22;
- l) Summary Letter to CPDC, provided by Regnante Sterio LLP, dated 6/1/22;
- m) Summary Letter to CPDC, provided by Regnante Sterio LLP, dated 8/8/22;
- n) Responses to Town Engineer Memos, provided by Fodera Engineering, dated 6/1/22;
- o) 459 Main Street, Equinox Shadow Study Animation, received 6/1/22;
- p) Draft Construction Management Plan, provided by Genesis Construction and Development, dated 6/1/22, and most recently revised 8/1/22;
- q) 459 Main Street Snow and Ice Removal Plan, dated May 2022;
- r) Proposed Traffic Management Plan, received 8/1/22;
- s) Transportation Peer Review of Proposed Mixed-Use Development at 459 Main Street, performed by Green International Affiliates, Inc., dated 8/2/22;
 - a. Subsequent Letter of Review to Applicant Responses, dated 8/18/22
- t) Staff Reports:
 - a. Email from Reading Fire Department, dated 2/3/22;
 - b. Email from Reading Police Department, dated 2/4/22;
 - c. Memo from Town Engineer, dated 4/6/22;
 - d. Memo from Town Engineer, dated 5/12/22;
 - e. Email from Building Commissioner, dated 6/7/22.
 - f. Email from Fire Chief, dated 6/8/22.
 - g. Email from Economic Development Director, dated 8/2/22;
 - h. Email from Reading Fire Department, dated 8/2/22;
 - i. Email from Reading Police Department, dated 8/3/22;
 - j. Email from Assistant DPW Director, dated 8/3/22;
- u) Abutter Input:
 - a. Email from Ilene Bornstein, dated 2/8/22;
 - b. Email from Bob Kammer, 37 Warren Avenue, dated 2/11/22;
 - c. Letter from Johnson Family, 166-168 Washington Street, received 3/15/22;
 - d. Email from Johnson Family, 166-168 Washington Street, received 5/4/22;
 - e. Letter from Johnson Family, 166-168 Washington Street, dated 6/13/22
 - f. Letter from Johnson Family, 166-168 Washington Street, re: Traffic Concerns, dated 7/11/22;
- v) Draft Decision, dated 9/12/22.

General Findings:

- 1) Zoning: The site is located within the underlying Business-B Zoning District and the Downtown Smart Growth District (DSGD) / 40R Overlay District. Properties located to the north, south, and west are also located in the Business-B and DSGD Zoning Districts. The lot abutting the site to the east is split-zoned between the Business-B/DSGD Zoning District and the S-15 Residential Zoning District.

Design Guidelines

The site is considered a Transitional Area (directly abutting a lot containing two-family dwelling).

→Therefore, Section 10 of the Design Guidelines applies to this redevelopment.

- 2) Overview: The land totals 10,256 square feet in area and maintains a combined ~192.57 linear feet of frontage along Main Street to the west and Washington Street to the south. The site is

abutted by: an existing 40R Mixed-Use Development to the north; a two-family dwelling to the east; Washington Street to the south; and Main Street to the west.

The existing site contains an ~1,800 square-foot, single-story commercial structure that operates as an automotive repair facility. It also maintains three curb cuts (one along Main Street and two along Washington Street) and an associated at-grade parking area.

The Applicant proposes to redevelop the site into a Mixed-Use 40R Development including twelve (12) residential dwelling units. It will also include a total of 1,455 square-feet of interior commercial space on the first-floor, and twenty (20) associated parking spaces located within a garage built at-grade. Vehicles would access the garage via a 24-foot wide drive-entry along Main Street and exit through a 22-foot wide drive-exit along Washington Street. The garage totals 6,548 gross square-feet of area, which equates to 72.5% of the at-grade area.

The Applicant is seeking Development Plan approval from the CPDC under Section 10.5 of the Reading Zoning Bylaw and the Downtown Smart Growth District Design Standards & Guidelines, pursuant to M.G.L. Chapter 40R.

- 3) Setbacks, Step-backs and Dimensional Requirements: A one-story roofed structure is setback 0' from the northern lot line in order to enclose a series of parking stalls along the north end of the garage. The second-, third-, and fourth-stories of the building's north façade will be stepped-back 3'6" from the northern lot line.

The building structure maintains a 16' setback from the eastern lot line where the project abuts a split-zoned (Bus-B/DSGD & S-15) lot containing an existing two-family structure with a detached commercially-used outbuilding. An 8' tall and 87'-4" long perimeter fence shall be located along the eastern property line to screen the open parking area. Additionally, the fourth-floor of the building's east façade is stepped-back 4'-2" from the levels below to further mitigate the massing of the structure for a total step-back of 20'-2" from the eastern lot line to the fourth-floor level.

Projecting bays are utilized over building step-backs on the building's south and west façades. A 0'9"-10" setback is provided from the southern lot line for a 7' concrete sidewalk along Washington Street. The building also maintains a 1'7"-2' setback from the western lot line to allow for a wider (6'6"-7') sidewalk area along Main Street. Additional setback areas of 6' are located along the retail portions of Main Street and Washington Street to allow for sidewalk area up to ±12' wide for additional programming and/or landscaping opportunities.

There is also a 9' X 15' setback area at the southeastern corner of the development. This corner shall be treated with landscaping that does not infringe on sight lines for the abutting property owners when they exit their driveway.

Building Height: For structures with flat roofs, 'height' is defined in Section 2.0 of the Reading Zoning Bylaw as "*The vertical distance from the average grade around the perimeter of a building to the top of a flat roof, including any parapet...*" Height is not defined separately or differently for 40R projects within ZBL Section 10.5, and mixed-use 40R projects are allowed a maximum height of 45' unless a height waiver can be justified.

Section 10.4.1 of the Design Guidelines requires the following: “*building height shall be measured from the pre-development site grade.*” The maximum building height, to the parapet, based off of the pre-development site grade, is 45’. [While not counting towards maximum height requirements, it should be noted that the elevator penthouse measures 7’ in height and the stairwell measures 9’ in height bringing maximum building height to 54’.]

Design of a flat roof with a second empire/slanted mansard design is utilized. The elevator shaft and mechanical utilities shall be located on the roof and be setback and/or screened from view. A total of 2,016sf of roof area shall be designated for the potential of future install of photovoltaic solar panels.

Lot Coverage: The lot totals ~10,256 square-feet of area, 7,870 square-feet of which will be covered by the principal structure. This calculates to a lot coverage of 77.2%.

- 4) Interior/Exterior Space: The proposed project will comprise +/-23,985 net enclosed square feet, as follows: ±1,378 (basement); +/-2,488 (1st floor); +/-7,143 (2nd floor); +/-7,137 (3rd floor); +/-5,540 (4th floor); and +/-0 (roof). The basement area shall be dedicated to utility space. The first-floor/garage level includes twenty (20) parking spaces dedicated to but unbundled from the residential use, along with a trash room, storage room, bicycle parking, an elevator system, a mail room, a utility room, two residential lobbies, and the retail space. The storage space within the first-floor will also be provided for bicycle parking and battery storage for the rooftop solar. However, the storage areas shall not be roofed. Residential entries will be provided on both Main Street and Washington Street.

The 1,455 square foot commercial space will include two pedestrian entries on the corner of Main Street and Washington Street that will provide access to and from expanded 12’-wide sidewalk areas located on both Main Street and Washington Street. The expanded sidewalk area is expected to be used for additional programming and landscaping.

The residential units include a mix of one-, two- and three-bedroom units. Five out of the six units located on the third-floor are to be bi-level units with a second level on the fourth-floor. A total of four (4) one-bedroom apartments, seven (7) two-bedroom units, and one (1) three-bedroom will be provided. One-bedroom units average 949 gross square feet, two-bedroom units average 1,472 gross square feet and the three-bedroom unit totals 2,107 gross square-feet.

A 662 square foot terrace fronting the corner of Main Street and Washington Street, which overlooks Elm Park, shall be located at level four, and will be available to all residents of the building. Access to it will be provided through the residential stairwell, which is accessible from all floors of the building.

All residential units will have private balconies or access to outdoor terraces. Sizes will vary in both width and length. No balcony or terrace shall be located on the building’s north façade. There are no enclosed areas on the roof and there will be no public access to the roof.

- 5) Roof: Mechanical units located on the roof shall be placed so that they are not viewable from the street level or abutting residential properties. The elevator shaft is approximately 7’ tall

and the stair penthouse is 9' tall. Approximately 2,016 square-feet of roof area shall be dedicated to for the potential of future solar array install.

- 6) Commercial Space: The project proposes approximately 1,455 square feet of interior commercial space on the first-level as described above. The commercial space shall also be provided with sidewalk area up to ±12' wide to utilize for outdoor programming. Commercial space is expected to be utilized as restaurant or retail. Three (3) parking spaces within the garage shall be dedicated to the commercial use. While one of the three parking spaces dedicated to commercial use meets the requirements of a standard ADA space it shall not be signed or restricted as such (i.e., ADA-adaptable) for flexible use.
- 7) Parking: The project requires a minimum of fifteen (15) parking spaces for the twelve units. There are twenty (20) parking spaces in the garage. Three (3) parking spaces shall be dedicated to the commercial use and the remaining seventeen (17) spaces shall be dedicated to, but unbundled from, the residential units. The garage shall be accessed through a 24' wide curb cut on Main Street. Egress from the garage shall be provided via a 22' wide curb cut on Washington Street. The Washington Street exit shall be gated.

The three commercial parking spaces provided shall each measure 8'6" wide and 17' long. The westernmost commercial parking space will be next to a 5'2" clearance area in order to act as a standard ADA space when needed. The commercial parking spaces are the three most immediate spaces located along the northern end of the garage when entering from Main Street. It is expected that two of the commercial parking spaces will be utilized and signed for short-term customer parking and the remaining space to be dedicated to retail employee.

Seventeen (17) parking spaces will be provided for the residential units, which equates to 1.41 spaces per unit and 0.81 spaces per bedroom. Residential parking includes two (2) ADA spaces, one of which will be an ADA van accessible space that measures 12' wide and 17' long and one standard ADA space that measures 8'-6" wide and 17' long will be provided. A 5'-2" striped area between the two ADA spaces will meet clearance requirements. Eleven (11) standard spaces measuring 8'-6" wide and 17' long will be provided. Four (4) compact spaces measuring 8' wide and 17' long will also be provided along the garage's eastern end.

All parking spaces will be 'EV Ready' in that wiring required for Electric Vehicle charging stations shall be included during construction. The implementation of EV chargers will be up to individual unit owners who require such.

Commercial Parking: The site is NOT within 300' of a municipal lot and is NOT exempt from providing off-street commercial parking. However, because the proposed use is designed to be retail and/or restaurant, and is less than 2,000 square feet, zero (0) off-street parking spaces are required or provided per Reading Zoning Bylaw Section 10.5.8:

10.5.8.1 Off-Street Parking

Off-street parking shall be provided to meet the following minimum requirements:

Retail or Restaurant

0 spaces

Office and Institutional

2 spaces per 1,000 square feet

If an Office/Institutional use is proposed within the commercial space, two (2) parking spaces will be required for every 1,000 square feet. With the commercial space total of 1,455 square feet, three (3) off-street commercial parking spaces would be required. However, the Applicant is proposing to add three (3) additional off-street parking spaces within the garage for the commercial use. It should also be noted that there is no on-street parking along the property frontage on either Main Street or Washington Street.

Loading / Deliveries: **Front door and on-street deliveries are not allowed to occur on Main Street or Washington Street.** Loading is proposed to occur within the garage and includes access to the retail space. Commercial loading and deliveries will occur during off-peak traffic hours and the size and nature of the commercial space is expected to be served by box trucks and vans, and not trailer trucks. Commercial deliveries shall be provided access to the commercial area from within the garage. The same is expected for both residential move-ins/outs, which shall be managed and scheduled by the property management company.

With the commercial space total of 1,455 square feet, no formal dedicated off-street loading zone is required.

10.5.8.2 Off-Street Loading & Delivery

Off-street loading spaces shall be provided to meet or exceed the following minimum requirements:

Restaurant leasable space in excess of 2,000sf 1 space per 2,000sf

Other allowed Secondary Use leasable space in excess of 2,000sf 1 space per 5,000sf

Bicycle Parking: A series of bike racks will be installed within the garage.

- 8) Sidewalk Improvements: The existing sidewalk shall be replaced with new concrete sidewalk around the entirety of the site, and will include 6" vertical granite curbing that lines the street. The concrete sidewalk will vary from 6'-6"-7' around the site and a 2'-3' brick paver band will line the exterior. An additional 6' of sidewalk depth will be provided along portions of the retail space to allow for public programming and additional landscaping opportunities. Curb cuts are to be consolidated from three to two.
- 9) Traffic Flow and Volume: A Traffic Impact and Access (TIA) study was completed for the project by The Engineering Corp (TEC).

The TIA concludes with the following information/recommendations:

- The proposed development is anticipated to generate approximately 138 new vehicle trips during the average weekday. 7 new vehicle trips are anticipated during weekday morning peak hour and 10 new vehicle trips are anticipated during the weekday evening peak hour.

- Overall, the project is anticipated to result in an increase of traffic on the roadway network by approximately 1 vehicle every 6 minutes; the report indicates this is a negligible impact.
- The 2028 Building Condition yielded similar delays and same Level of Service (LOS) results as the No Build Condition, indicating the proposed project will not significantly impact peak hour traffic operations. The delay is expected to slightly increase for several movements but the report indicates the overall impact of the increase in delays per vehicle will be negligible.
- The Applicant shall work with the Town of Reading to monitor and optimize traffic signal timings post-occupancy, if necessary, through joint field observations.
- The level of impact from the project does not warrant any additional project-specific mitigation beyond the signal timing optimization identified above.

10) Peer Review: A peer review of the project site plans, supplemental traffic impact information and site access and circulation was conducted by Green International Affiliates, Inc. The peer review included a series of recommendations not provided in the TIA aimed to improve the site circulation, access and safety.

11) Drainage and Grading: The site is relatively flat in grade and is currently 100% impervious area due to the existing building and its associated parking. Redevelopment will incorporate Best Management Practices (BMP's) and Low Impact Design (LID) strategies. LID measures include an infiltration system that improves the natural runoff rate over existing conditions.

Roof runoff will be captured and directed to the on-site infiltration gallery. Portions of the roof runoff not captured will flow onto the new sidewalk and towards existing conveyance systems on both Main Street and Washington Street. Treatment prior to infiltration will be completed through a manhole with deep sump prior to discharging into the recharge system. The deep sump will separate Total Suspended Solids (TSS) for advanced pollutant removal. The system will be designed to capture up to 100-year storm events. An overflow outlet pipe will be included in the system in case of an extreme event. Overflow will be directed toward Washington Street.

The site will be graded in a manner to avoid puddling on the premises and to promote positive sheet flow away from the building.

Once the final stormwater system design is complete, a long-term Operations and Maintenance Plan will be prepared. The Plan shall detail measures to be taken by the property owner to ensure long-term sustainability of the system. The Plan shall include, but not be limited to, schedules for inspections and maintenance, estimated costs of maintenance, safety measures, and responsible entity. A separate construction phase BMP plan shall be drafted and followed.

12) Utilities: All utilities are to be removed and reconnected from Washington Street. The existing sanitary sewer will be cut and capped at the 20" main within the right-of-way and replaced with a new PVC pipe. An oil-water separator is to be installed within the garage and

will connect to the sanitary sewer line. Domestic water and a new fire service will be tapped from the 12" water main in Main Street. Electric, telephone and communication will also be extended from Washington Street. Natural gas connections will be extended from Washington Street and shall be coordinated with respective utility companies. All proposed utilities will be underground.

A total of 2,016sf of roof area is dedicated for future photovoltaic (PV) solar arrays. The area would allow an estimated 69 PV panels and a bank of PV batteries will be installed within the building's garage that will modulate the building's energy demand with the grid.

- 13) Lighting: Lighting shall be incorporated at the first level façade in order to distinguish commercial entries from residential entries, as well as to provide a measure of public safety. All exterior lighting shall be designed to be Dark Sky compliant and mitigate impacts to abutting residential properties; limited up-lighting is allowed in accordance with Design Guidelines Section 8.4.6.
- 14) Property Management: The property is proposed to be managed by a property management company.
- 15) Wetlands / Floodplain: There are no wetland resource areas or buffers on or near the site, and the site is not within a 100-year floodplain.
- 16) Landscaping: A mulch bed with shrubs is proposed at the retail entrance. The existing street tree on Main Street is proposed to remain. Additional shrubs and vegetation will be provided in the southeast corner of the lot.
- 17) Trash Management: Trash and recycle bins shall be located within the garage and near the Main Street entry. Trash is to be managed by private entity. Language detailing how trash and recycling will be managed on-site, including but not limited to schedule of pick-up days and times, and logistics for trash truck access to the site shall be described within the property management documents. Trash management for both the residential and retail uses shall be managed separately, as is practicable.
- 18) Signage: No building signage is approved herein. Any future signage shall require the submittal of a Sign Permit Application and shall comply with Section 8.0 of the Zoning Bylaw and Section 9.0 of the Downtown Smart Growth District Design Guidelines.

Findings pursuant to DSGD Design Standards & Guidelines:

7. Building Design Standards

7.1 Massing

7.1.1 Front Façade Setback – Over 60% of the Main Street façade is at the minimum setback of 0'. Over 60% of the Washington Street façade is also at the minimum setback of 0'. Recessed retail areas of 6' will be provided on both the Main Street and Washington Street and shall be designed specifically for pedestrian uses.

7.1.2 Building Step-Back Requirements – The second- through fourth-floors of the building's north façade are stepped-back 3'6". Projecting bays are utilized on the

southern and western façades.

Design Guidelines Section 7.1.2 Diagram D requires the following:

“Where buildings are directly abutting a single-family, 2-family or 3-family residential use, the side yard or rear yard step-back shall be at the 2nd or 3rd floor and shall be a minimum of ten (10) feet.”

The eastern property line directly abuts a 2-family use. The fourth-floor of the proposed building on the east façade is stepped back 4’2”; no step backs are currently proposed at the 2nd and 3rd floors of this façade as required.

→ Based on prior feedback from the CPDC and abutters, the Applicant modified the project to remove the enclosed garage and the step-back which complied with Design Guidelines Section 7.1.2 Diagram D. This change means that the project no longer complies with this requirement.

7.1.3 Mixed-Use Building Proportions – The building’s commercial space and main entry space is provided horizontal brick work and large glass paned windows. Residential floors above are provided projecting bays, vertical windows and blue shipyard siding to differentiate from the retail uses below.

7.1.4 Special Function Space Differentiation – Not applicable to the current proposal; however, the Applicant is encouraged to think about community place-making events when approaching commercial tenants, especially for the second-floor retail space.

7.2 Appearance

7.2.1 Defined Proportions – The project uses projecting bays and balconies, and a second empire/mansard rooftop design to define different levels of the façade.

7.2.2 Horizontal and Vertical Elements – Horizontal elements such as brick masonry, retail awnings, and large framed windows are combined with vertical projecting bays, cornice roof designs at different levels, and mansard roofing on the fourth-floor. Materials shall be submitted to CPDC for review.

7.2.3 Continuous Façade Elements – Façade elements and materials are used continuously around the façade.

7.2.4 Rooftop Mechanical Setbacks – Mechanical units on the rooftop level are setback and screened so as to not be visible from the pedestrian level.

7.2.5 Incorporation of Existing Significant Building Facades – The building form adapts in scale and texture to create continuity with abutting properties.

7.2.6 Franchise Architecture – Distinctive building design that is trademarked or identified with a particular chain or corporation and is generic in nature, is not allowed in the DSGD – the Applicant shall be aware of this when recruiting tenants.

7.3 Entries

7.3.1 Articulation – Commercial entries are provided at the corner of Main and Washington Street and shall be articulated through design and signage. Residential entries shall be recessed and will be provided on both Main Street and Washington Street.

7.3.2 Retail and Commercial Entry Transparency – Commercial space is designed to activate Main Street and a portion of Washington Street. Commercial areas shall be visible from Elm Park across Main Street. Commercial spaces are provided large glass window panels for visibility.

7.3.3 Integrated Lighting & Signage – Sidewalk lighting has been designed around the entire perimeter of the building.

7.3.4 Upper Floor Entries – The entry to upper floor residential areas shall be made distinct upon entering through the either the Main Street or Washington Street façades by signage and design.

7.4 Fenestration

7.4.1 Commercial Horizontality & Residential Verticality – Commercial spaces are designed with over 60% of their façade length being glass window panels. Residential portions of the building are designed with vertical windowing.

7.4.2 Glazing – Commercial spaces are designed with over 60% of their façade length being glass window panels. Retail or restaurant uses were stated as intended tenants to provide activation of the areas and limit tint of the windows.

7.4.3 Overhanging Awnings or Canopies – Awnings to distinguish the commercial spaces shall be utilized.

7.5 Materials

7.5.1 Exterior Finishes – A combination of light-colored masonry, blue ship-lap siding, patina finishing, bronze finishing and green slated shingles will be used for the building façades.

7.5.2 Prohibited Materials – Not Applicable.

7.5.3 Changes in Materials – The first-floor will consist of a light-colored masonry base to transition from the sidewalk to the building structure. Commercial spaces will utilize large windows inserted into the masonry storefronts. Residential spaces and entries above will differentiate themselves by utilizing a navy ship-lap siding, bronze and patina finishing, and a green slated shingled roof. Materials shall be submitted to CPDC for review.

7.5.4 Continuity of Materials – Façade elements and materials are used continuously around the façade.

7.5.5 Blank Facades Not Permitted – The second- and third-floors of the north façade utilize the navy ship-lap siding and the fourth-floor utilizes the green slated roof with a mansard design. No windows are proposed for this facade for privacy reasons due to the proximity of the adjacent residential building to the north.

8. Site Design Standards

8.1 Sidewalks

8.1.1 Sidewalk Continuity – The existing curb cuts on Washington Street will be consolidated from two to one. Widened sidewalks will be provided for pedestrian use.

8.1.2 Pedestrian Amenities – The project will provide ~500sf of at-grade open space accessible from the sidewalk (~900sf new sidewalk).

8.1.3 Usable Open Spaces – The open space will be programmed dependent on commercial uses, but will most likely be used for pedestrian-centric activities such as dining and seating.

8.1.4 Pedestrian Improvements – Improvements to adjacent crosswalks, curbing and sidewalks may be requested by the Town Engineer.

8.2 Driveways and Parking

8.2.1 Sidewalk Continuity – The existing sidewalk will be removed and replaced. Curb cuts on Washington Street will be consolidated from two to one.

8.2.2 Parking Lots – A majority of the parking garage shall be contained within the building structure and concealed from public view. The access will be provided off of Main Street and exit will be provided along Washington Street. The parking area shall be screened by an 8' tall fence along the eastern lot line.

8.2.3 Parking Lots Behind Buildings – The ground level parking shall be screened by an opaque fence.

8.2.4 Below-grade Parking – Not Applicable to application.

8.2.5 Parking Lot Screening – The portion of the parking area abutting the existing two-family dwelling will be screened by an 8' opaque privacy fence. The fence shall screen the residential parking area for the residential abutter.

8.2.6 Shared Parking – Shared use of parking between residential and commercial tenants will be encouraged. If the parking garage is not fully utilized by residents the Applicant shall look to allow commercial employees garage parking access. Ride sharing services will be encouraged.

8.2.7 Pedestrian & Vehicular Safety – Recommendations of the Traffic Impact Assessment shall be considered and discussed with the Town's Parking Traffic and Transportation Task Force (PTTTF).

8.3 Landscaping

8.3.1 Street Trees – The existing street tree on Main Street is to remain.

8.3.2 Retail Frontages – The final location of street trees shall be determined by the Tree Warden and shall not impede visibility of commercial areas or signage.

8.3.3 Parking Areas – The eastern parking area will be screened by an 8' fence, the rest of the parking area shall be enclosed within the garage.

8.3.4 Public Open Spaces – The project will provide ~500sf of publicly accessible open space accessible from the sidewalk (~900sf new sidewalk). An additional 662sf of private amenity space for residents is provided at the 4th floor level.

8.3.5 Native Species – Final determination of street tree species shall be determined by the Tree Warden.

8.3.6 Preservation of Healthy 6" Caliper Trees – Not Applicable to application.

8.4 Lighting

8.4.1 Articulation of Building Uses & Entries – The project will incorporate lighting along the street level façade that will identify major commercial and residential entry ways. Any upper level lighting shall be Dark Sky compliant and designed to mitigate impact to residential abutters.

8.4.2 Coordination w/Town's Street Lighting & Trees – All proposed lighting will be coordinated with the Town's street lighting and street trees.

8.4.3 Light Spillover – Lighting at upper-level terraced areas shall be designed to minimize impact to abutting properties.

8.4.4 Public Safety – All lighting for public safety shall be added to the plans.

8.4.5 Sign Lighting – No signage proposed or approved herein.

8.4.6 Dark Sky Standards – All upper floor lighting shall comply with dark sky standards.

8.5 Utility Areas and Utilities

8.5.1 Location – The trash area and utility rooms will be located within the parking garage. The trash area will be situated along the northern façade. Mechanical units will be located on the roof, and will not be visible from the street.

8.5.2 Screening – All rooftop mechanicals will be setback so they are not viewable from street level.

8.5.3 Shared Utility Areas – Not Applicable.

8.5.4 Aboveground Utilities Not Permitted – All utilities will be underground.

8.5.5 Underground Utilities Required – All utilities will be underground.

8.6 Drainage and Storm Water Management

8.6.1 BMP/LID Strategies – Roof runoff will be captured and directed to the on-site infiltration gallery. Portions of the roof runoff not captured will flow onto the new sidewalk and towards existing conveyance systems on both Main Street and Washington Street. Treatment prior to infiltration will be completed through a man hole with deep sump prior to discharging into the recharge system.

8.6.2 System Elements – A series of underground infiltration systems are proposed beneath the garage floor; the system is designed to capture roof runoff and reduce flow into the Town's system.

8.6.3 Operations & Maintenance Plan – An O&M Plan shall be provided.

8.6.4 On-site Recharge – On-site recharge has been provided.

8.6.5 Pervious Paving – Not Applicable to application.

8.6.6 Site Grading – As existing, the site is proposed to remain relatively flat.

9. Signage Design Standards – No building signage has been proposed or approved herein.

10. Additional Considerations for District Edges & Transitional Areas

10.3 Applicability – The site is designated as a Transitional Area as it abuts an existing two-family structure.

10.5 Design Considerations for Transitional Areas

10.5.1 Abutting Historic Structures – Not Applicable to application.

10.5.2 Density of Project away from Residential Use – The fourth-floor is stepped back 4'2" from the eastern property line. Primary retail spaces are located at the western and southwestern facades of the building in order to add to the primary commercial street of Main Street.

10.5.3 Engage Existing Residential Fabric – The project utilizes a 'second empire' mansard roof design to engage existing residential fabric.

10.5.4 Screen for Residential Privacy – The portion of the parking area abutting the existing two-family dwelling will be screened by an 8' fence.

10.5.5 Shadow Study – A shadow study has been provided.

10.5.6 Noise Mitigation – Mechanical units located on the roof shall be placed and screened so that they are not heard from the street level or abutting residential properties.

Waivers pursuant to Section 10.5.12 and DSGD Design Standards & Guidelines:

Upon request of the Applicant, the Commission, in the interests of design flexibility and overall project quality, and upon a finding of consistency of such variation with the overall purpose and objectives of the DSGD and the Reading Master Plan, or if it finds that such waiver will allow the project to achieve the density, affordability, mix of uses and/or physical character allowed. The Commission shall take into consideration the following items when considering a waiver:

1. High performance energy efficient buildings and construction methods.
2. Projects with publicly accessible open space.
3. Projects that include retail and restaurants located on street level.

4. A demonstrated shared parking initiative that makes efficient use of land and existing parking supply.
5. The preservation or rehabilitation of historic properties or other buildings considered significant to the Town.

The Applicant has requested the following waivers from ZBL Section 10.5:

1. **Density:** *to allow a density of 51.0 units/acre where 20 units/acre is allowed by-right.* The Applicant stated this will allow the development to be economically viable and notes that the Floor Area Ratio (FAR) of 2.72 is below the maximum of 2.80 allowed.
The CPDC voted 1-3-0 to approve this waiver. This waiver is not granted.
2. **Parking Dimensions:** *to allow 4 parking spaces to be striped, sized and signed as compact spaces that measure 8' wide and 17' long where 8.5' x 17' is permitted.* This totals 20% of the garage parking spaces.
The CPDC voted 3-1-0 to approve this waiver. This waiver is granted.
3. **Garage Drive Aisle Width:** *to allow 24' drive aisle widths within the parking garage where 26' is required.* The Applicant states that 24-foot wide drive aisles may accommodate the one-way vehicular flow of traffic.
The CPDC voted 4-0-0 to approve this waiver. This waiver is granted.
4. **Landscaping:** *to waive the requirement of submitting a full landscaping plan and provide landscaping where appropriate.*
The CPDC voted 3-1-0 to approve this waiver. This waiver is granted.
5. **Design Guidelines Section 7.1.2:** *to waive the requirement to provide a 10' step back at the 2nd or 3rd floor of the east façade where a 16' setback was provided at the ground level.*
The CPDC voted 4-0-0 to approve this waiver. This waiver is granted.
6. **Design Guidelines Section 7.2.1:** *to waive the requirement that there be a change in plane articulated by projected or recessed bays, balconies or setbacks on the north façade.*
The CPDC voted 3-1-0 to approve this waiver. This waiver is granted.
7. **Design Guidelines Section 7.5.5:** *to waive the requirement that there be a change in materials accompanied by a change in plane, vertical and/or horizontal elements on the north façade.*
The CPDC voted 2-2-0 to approve this waiver. This waiver is not granted.

Conditions:

General:

- 1) **Project Density:** **The CPDC has granted the following waiver from ZBL Section 10.5:**
The project may provide up to but no more than 5 residential units, which equates to a density of 21.24 units/acre where 20 units/acre is allowed by-right. A strict 20 unit/acre density would result in 4.7 units.
- 2) **Design Guidelines Section 7.5.5:** The project shall comply with the requirement that there be a change in materials accompanied by a change in plane, vertical and/or horizontal elements on the north façade.
- 3) **Public Health, Safety and Welfare:** If, at any time, the site becomes a nuisance to public health, safety or welfare (i.e., traffic spillover, excessive noise, unreasonable site illumination beyond the hours of operation, etc.) – as shall be evidenced by substantiated complaints to the Police Department or Public Services Office – the Applicant/Owner shall agree to work with

staff to rectify the problem. Should the situation warrant it, an additional Site Plan Review by the CPDC may be required.

- 4) **Utilities:** All utilities, structures, frames and covers shall meet the Town of Reading standards. The electric utility plan is subject to approval by the Reading Municipal Light Department (RMLD).
- 5) **MS4 Permit:** The project shall comply with the most recent MS4 permit.
- 6) **Lighting:** The Applicant shall ensure that any proposed lighting is not occluded by the street trees along the frontage, and does not compete with existing street lighting. The Applicant shall submit specifications for each type of lighting fixture to the Community Development Director for approval.
- 7) **Limitations / Future Uses:** The 40R Development Plan Decision herein does not include approval for any future uses or site renovations that may – on their own merits and design – trigger the requirements of 40R plan review, or site plan review, and/or require a special permit. Pursuant to Section 10.5 of the Zoning Bylaw the following uses are permitted by right within the proposed commercial spaces: office, retail, restaurant, institutional and consumer services.
- 8) **Commercial Spaces:** It is strongly recommended that the Applicant prep the commercial space(s) with utility connections, grease traps, etc. in anticipation of future tenants.
- 9) **Engineering Concerns:** In general, throughout the project, the Applicant shall work with the Town Engineer to address any outstanding comments in the memos to the Community Development Director dated 4/6/22 and 5/12/22.
- 10) **Shared Parking:** The Applicant is encouraged to engage in conversations with nearby property owners regarding shared parking, and to partner with Zip Car and other shared services if possible, and to provide electric vehicle charging stations. If and when progress on shared parking is made, the Applicant shall provide more information about these amenities, and indicate which area(s) of the garage are intended for them and how they will be managed.
- 11) **Storage Areas:** The Applicant is encouraged to consider adding supplemental storage areas for tenants to the building if possible.
- 12) **Community Place-making / Creative Economy:** When approaching potential commercial tenants, the Applicant is encouraged to think about community place-making events, and/or dividing the space into smaller units that are affordable to creative economy tenants.

Prior to the Issuance of Building Permits and Prior to the Start of Construction:

- 1) **Plan Changes:** The Applicant shall make the required plan changes, and shall submit an electronic set of the revised plans to the Community Development Director.
- 2) **Other Permits:** The Owner/Applicant is responsible for obtaining all other requirements and permits including but not limited to, utility connections, sewer, water, curb cut, street opening and Jackie's Law excavation permits from the Engineering Department (prior to excavation), and Board of Health approvals.
- 3) **Pre-Construction Meeting:** The Owner/Applicant and contractors shall coordinate with the Community Development Director to schedule a pre-construction meeting with Town staff prior to applying for demolition and/or building permits, in order to review these conditions and any and all final construction sequencing, details and plans for this project.

- 4) **Construction Management Plan / Contractor Parking:** The Applicant shall submit a Construction Management Plan which includes provisions for off-site parking.
- 5) **Test Pits:** The Owner/Applicant shall perform soil test pits to confirm soil conditions and recharge rates. If changes are needed to the stormwater management infrastructure based on test pit findings the Owner/Applicant shall provide revised plans and details to the Town Engineer and the Community Development Director for review and approval.
- 6) **Construction Documents & Fire Safety:** Full construction documents must be submitted and approved by the Fire Department at 80% design. A fire flow test shall also be performed prior to the issuance of a building permit. A building permit shall not be issued until the Fire Department has approved the plans and test findings.
- 7) **Master Box:** The Applicant shall coordinate with the Fire Department on the requirement for a Master Box tied that is to be tied to the fire alarm system.
- 8) **Materials:** No colors have been approved herein. The Applicant shall return to the Commission with samples of proposed materials and colors to be used on the building prior to installation.

During Construction:

- 1) **Construction Hours:** Construction shall be limited to the hours stated in Section 8.9.8 "Construction Hours" of the Reading General Bylaws and said hours shall be posted in a conspicuous place at the entrance prior to any work on the site.
- 2) **Construction Activities:** Construction activities shall be conducted in a workmanlike manner at all times. Blowing dust or debris shall be controlled by the Applicant through stabilization, wetting down, and proper storage and disposal methods, subject to the approval of the Health Agent or designee. The Applicant shall ensure that the abutting local streets are kept clear of dirt and debris, which may accumulate as a result of construction activities for the Project. Documentation shall be provided demonstrating ongoing pest management control, subject to the approval of and administration by the Health Agent.
- 3) **Construction Management Plan / Contractor Parking:** Site operations shall comply with the aforementioned Construction Management Plan at all times. Contractors shall park in the locations designated and provided for within the CMP.
- 4) **Site Inspections:** Town staff or their designee shall have reasonable access to inspect the site to determine compliance with this Decision.
- 5) **Bond:** The Applicant/Owner shall furnish a bond for the final As-Built plans prior to the issuance of the final certificate of occupancy. The bond amount shall be determined by the Town Engineer consistent with the reasonable costs associated with a third party performing the work. The bond shall be returned once the requirements of this condition are met.
- 6) **Scaffolding:** The scaffolding at the property lines shall be completely screened 100% of the time to maintain privacy and prevent materials/debris from falling/blowing or otherwise dropping onto the abutting properties.
- 7) **Construction Vehicle Restrictions:** The Applicant/Owner shall prohibit construction vehicles from entering/exiting the site from/onto Washington Street. Construction vehicles shall be directed to enter the site from Main Street and exit the site onto Main Street and travel northbound to the highway interchange.

- 8) **Road Lane Closures:** The Applicant/Owner shall require that no construction deliveries which require lane closure on Main Street occur during peak travel hours (8:00AM-10:00AM/4:00PM-6:00PM). At no point during construction shall both northbound travel lanes on Main Street be closed.
- 9) **Sidewalk Closures:** During times of sidewalk closures and/or pedestrian re-routing, the Applicant/Owner shall ensure that signage to the effect of "Sidewalks Closed, Businesses OPEN" are strategically placed near the site.

Prior to Vertical Construction:

- 1) **Garage As-Built:** The Applicant shall provide, to the Building Commissioner and Community Development Director, an as-built of the foundation and garage, that shows an overlay of the location and size of structural columns, fire/building/energy code requirements, and dimensioned parking striping, proving that the parking as approved can work. If the parking cannot work as approved, the Applicant shall return to CPDC for an amendment prior to starting vertical construction.
- 2) **Funding for Intersection Improvements:** In recognition of the fact that this project will add traffic to an already congested area with problematic intersections, the Applicant has agreed to contribute \$25,000 to the Town for the purpose of implementing recommendations within the peer review conducted and provided by Green International Affiliates, Inc. This funding shall be managed by the Town Engineer and/or Community Development Director for such improvements that are deemed necessary.

Prior to the Issuance of a Certificate of Occupancy:

- 1) **Architecture:** The building façade on each elevation (north, south, east, and west) shall be substantially as indicated on the approved architectural plans and elevations.
- 2) **Stormwater O&M Plan:** A post-construction Operations and Maintenance Plan for the stormwater system shall be provided to the Town Engineer.
- 3) **Traffic Signal Phasing and Optimization:** The Applicant shall engage with the Town's Engineering Department to review and optimize traffic signal timing based on projected traffic volumes prior to the occupancy of the development. The traffic signal timing shall be reexamined 6-months after occupancy for further necessary adjustments.
- 4) **Property Management / Leasing Documents:** A copy of the finalized Property Management / Leasing Documents shall be submitted to the Community Development Director for review and approval, and shall contain the following language:
 - a. **Fire Safety:** Language ensuring fire safety by prohibiting gas/propane grills on balconies, etc.
 - b. **Delivery Vehicles & Times:** Language prohibiting commercial deliveries along Main Street and Washington Street, and prohibiting commercial deliveries to the commercial space between 10:00 PM and 5:00 AM.
 - c. **Management of Move-ins & Move-outs:** Language regarding management of move-ins and move-outs by the on-site property manager, specifically with regards to the size of moving vehicles allowed and the timing and use of the garage.

- d. **Drainage System Maintenance:** Language that requires the property management company to adhere to the requirements of the Stormwater O&M Plan.
 - e. **Trash Removal:** Language detailing how trash and recycling will be managed on-site, including but not limited to schedule of pick-up days and times, and logistics for trash truck access to the site. Trash management for both the residential and retail uses shall be managed separately, as is practicable. Trash collection shall comply with General Bylaw Section 8.11.
 - f. **Snow Removal:** Language that requires the property management company to adhere to the requirements and specifications of the Snow and Ice Removal Plan submitted.
 - g. **Site Lighting:** Language that commercial lighting (including signage) shall be programmed to shut off at the close of business each day.
 - h. **Conditions for Ongoing Maintenance after Occupancy:** Language that the property management company shall adhere to the “Conditions for Ongoing Maintenance after Occupancy” as are stated herein below.
- 5) **Rooftop Mechanicals:** All rooftop mechanicals shall be set back from building facades and appropriately screened from view.
 - 6) **Pedestrian Improvements:** Improvements along Main Street, Washington Street and abutting rights-of-way, as deemed necessary or advantageous to the Town Engineer and Community Development Director, to adjacent crosswalks, signal heads, curbing and sidewalks, shall be installed at the Applicant’s expense in accordance with Town standards.
 - 7) **Garage Striping:** Garage parking spaces shall be striped in accordance with the approved plans. Dimensions shall be measured from centerline to centerline. Striping of parking lanes, and directional arrows, consistent with current Manual on Uniform Traffic Control Devices (MUTCD), shall be installed within the garage.
 - 8) **I/I Fee:** The Applicant is subject to the required Inflow/Infiltration Fee as the proposed sewer flow usage will be greater than historical usage. The Fee is calculated as twice the flow times \$4.00.
 - 9) **Street Trees:** The Applicant shall work with the Tree Warden to locate the street tree along Main Street to an appropriate location. Both the species and location shall be approved by the Town’s Tree Warden.
 - 10) **Commercial Tenant Space(s):** The approved plans and parking ratio are based on an intended retail, restaurant, or certain other commercial use of the commercial tenant space(s). No office or institutional use shall occupy the commercial tenant space(s) until the property owner or prospective tenant submits a plan to the CPDC demonstrating how commercial parking demand will be met and/or applies and receives a waiver from the CPDC for the parking requirement.
 - 11) **Lighting:** All exterior building and site lighting shall comply with the dark sky initiatives (light shall shine down only) with the light source being fully shielded (with cutoff shields) so that little to no light or glare spills onto abutting properties. Spec sheets of proposed lighting fixtures shall be submitted to the Community Development Director for review and approval.

Conditions for Ongoing Maintenance after Occupancy:

- 1) **Parking Utilization Data:** The Applicant or Owner shall provide reports to the Community Development Director indicating utilization of the on-site parking and shall work with Town staff to evaluate impacts and make any necessary modifications to the parking space management system described above, including the provision of EV charging infrastructure, Zip Car spaces, etc. if evidenced to be desired by tenants.
- 2) **Energy Utilization Data:** The Applicant shall provide reports to the Community Development Director detailing the building's annual energy use and corresponding greenhouse gas emissions. A report shall be created utilizing the building's benchmark year and Owners shall report energy use for all metered uses to the Town.
- 3) **Signage:** Prior to installation of any building or tenant signage, a Sign Permit Application and/or Master Signage Plan shall be submitted for review and approval.
- 4) **As-Built Plans:** Two full size paper copies and electronic AutoCAD final As-Built plans showing the building footprint, drainage systems and utility connections shall be submitted to the Community Development Director and Town Engineer to ensure compliance with this decision and other applicable Town standards. The bond held for this requirement will be returned to the Applicant once this condition has been fulfilled.
- 5) **Landscaping:** Landscaping on-site shall be maintained in a healthy condition in perpetuity. In the event that landscaping is damaged during snow removal operations, the property owner shall replace such landscaping during the next growing season.
- 6) **Lighting:** All exterior building and site lighting shall comply with the dark sky initiatives (light shall shine down only) with the light source being fully shielded (with cutoff shields) so that little to no light or glare spills onto abutting properties. Any exterior lighting that is required for security purposes may be illuminated by photocells and is not required to be extinguished at the close of business. All site and building lighting for commercial purposes, beyond what is needed for security purposes, shall be programmed to shut off at the close of business each day.
- 7) **Trash Removal:** All trash collection and disposal are the responsibility of the owner / property manager. The Applicant shall ensure daily that exterior areas of the site remain clear of debris, trash and any equipment used in connection with any commercial activities on site.

Plan Changes after Approval by the Commission:

Contemplated future changes to the plan approved herein shall be presented to the Community Development Director and the Building Inspector, or other relevant Town staff, for review prior to implementation of proposed changes.

10.5.13.1 Minor Plan Changes: After Plan Approval, an Applicant may apply to make minor changes in a Development Project involving minor utility or building orientation adjustments, or minor adjustments to parking or other site details that do not affect the overall build out or building envelope of the site, or provision of open space, number of housing units, or housing need or affordability features. Such minor changes must be submitted to the Commission on redlined prints of the approved plan, reflecting the proposed change, and on application forms provided by the Commission. The Commission may authorize such changes at any regularly scheduled meeting, without the need to hold a public hearing. The Commission shall set forth any

decision to approve or deny such minor change by motion and written decision, and provide a copy to the Applicant for filing with the Town Clerk.

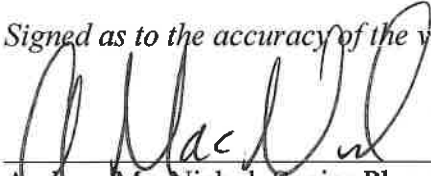
10.5.13.2 Major Plan Changes: Those changes deemed by the Commission to constitute a major change in a Development Project because of the nature of the change in relation to the prior approved plan, or because such change cannot be appropriately characterized as a minor change as described above, shall be processed by the Commission as a new application for Plan Approval pursuant to Section 10.5.

Appeal:

Any person aggrieved by this Decision of the CPDC may appeal to the appropriate court in accordance with the provisions of M.G.L. Ch. 40A Section 17, pursuant to M.G.L. Ch. 40R Section 11, within twenty (20) days after the date of filing of this Decision with the Town Clerk. Notice of any appeal with a copy of the complaint must also be filed with the Town Clerk within such twenty (20) days as provided in M.G.L. Ch. 40A Section 17.

This Decision and the relief, terms, restrictions and conditions contained herein shall run with the land and all subsequent owners shall benefit from and be bound by the relief, terms, restrictions and conditions contained herein.

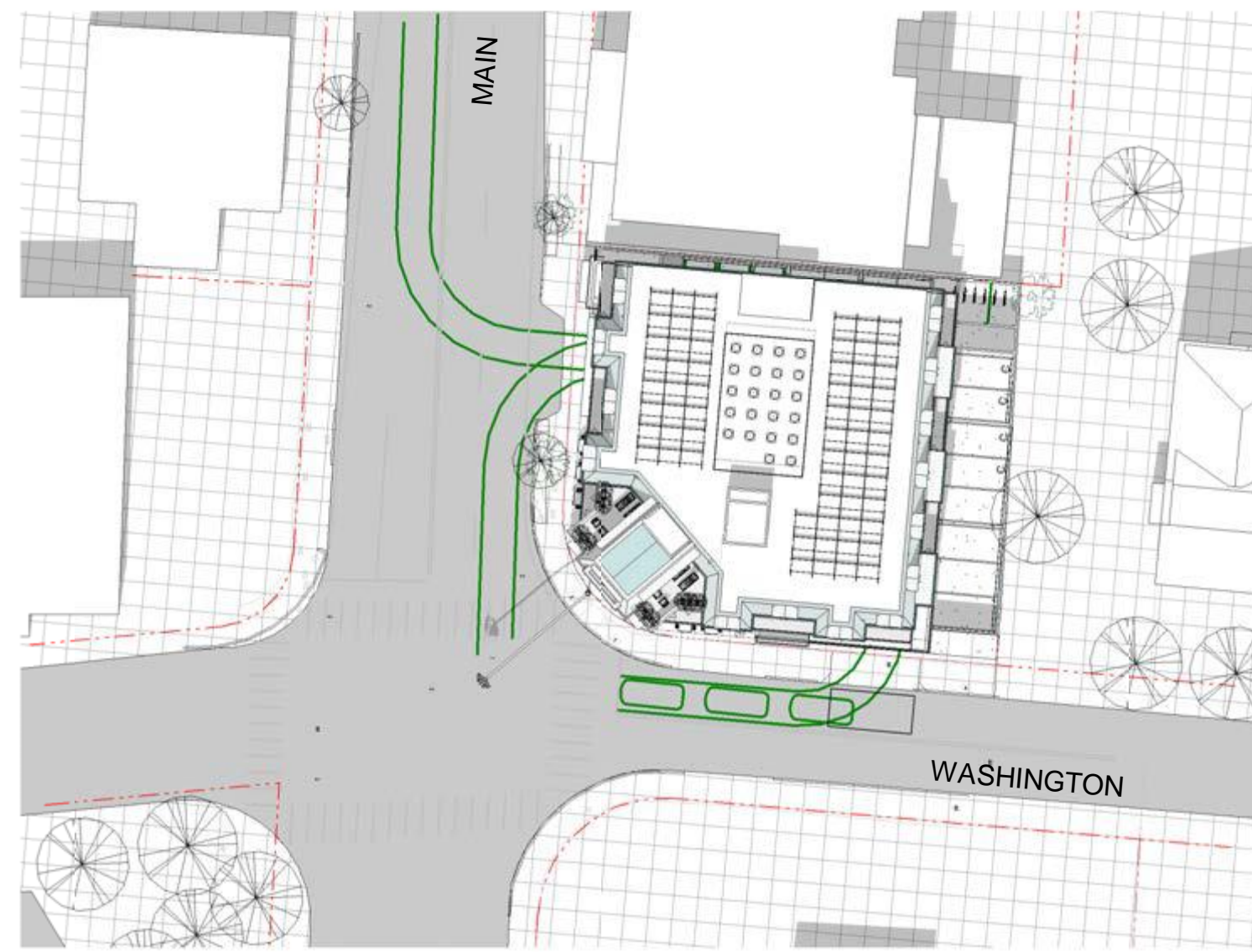
Signed as to the accuracy of the vote as reflected in the minutes:



Andrew MacNichol, Senior Planner

Cc: Applicant, Town Clerk, DRT Staff, planning file

9/12/22
Date



4 G000_COVER PLAN
1" = 40'-0"



3 G000_SW AXO



2 G000_NW AXO



459 MAIN STREET REDEVELOPMENT

459 MAIN STREET
READING, MA 01867

DEVELOPER: GC FODORA

ZONING: 40R - DSGD

ISSUED:

1. 11/17/2021 READING STAFF REV.
2. 12/01/2021 ZONING APPLICATION
3. 01/18/2022 ZONING UPDATE
4. 02/07/2022 PLANNING UPDATE
5. 03/07/2022 PLANNING UPDATE
6. 04/05/2022 PLANNING UPDATE
7. **09/07/2022 PLANNING UPDATE**

Sheet Number	Sheet Name	Sheet Issue Date	Current Revision Date
G000	COVER	12/01/2021	04/05/2022
G001	PROJECT INFORMATION	12/01/2021	03/07/2022
G002	ZONING GUIDELINES	12/01/2021	05/31/2022
G003	SHADOW STUDY	12/01/2021	01/18/2022
G004	PROJECT VIEWS	12/01/2021	04/05/2022
G005	GROUND LEVEL AXO	12/01/2021	05/31/2022
G006	PROJECT MATERIALS BOARD	12/01/2021	01/18/2022
G007	CONTEXT ELEVATIONS	12/01/2021	01/18/2022
C-1	EXISTING CONDITIONS SURVEY	12/01/2021	
C-2	PROPOSED SITE PLAN	12/01/2021	
C-3	PROPOSED SITEPLAN	12/01/2021	
C-4	DETAILS SHEET	12/01/2021	
C-5	DETAILS SHEET	12/01/2021	
C-6	VEHICLE TRACKING	09/07/22	
A001	SITE PLAN	12/01/2021	03/07/2022
A002	EXTERIOR AREA DETAIL PLANS	12/01/2021	05/31/2022
A100	BASEMENT PLAN	02/01/22	03/07/2022
A101	LEVEL 01 PLAN	12/01/2021	09/07/2022
A102	LEVEL 02 PLAN	12/01/2021	05/31/2022
A103	LEVEL 03 PLAN	12/01/2021	01/18/2022
A104	LEVEL 04 PLAN	12/01/2021	01/18/2022
A105	ROOF PLAN	12/01/2021	01/18/2022
A300	COMPOSITE ELEVATIONS	12/01/2021	05/31/2022
A310	WEST BUILDING ELEVATION	12/01/2021	03/07/2022
A312	SOUTH BUILDING ELEVATION	12/01/2021	05/31/2022
A313	EAST BUILDING ELEVATION	12/01/2021	05/31/2022
A314	NORTH BUILDING ELEVATION	12/01/2021	04/05/2022
A315	CORNER & MISC. ELEVATIONS	12/01/2021	01/18/2022
A400	BUILDING SECTIONS	12/01/2021	04/05/2022
A410	WALL SECTIONS 1	12/01/2021	05/31/2022
A411	WALL SECTIONS 2	12/01/2021	04/05/2022
A500	STAIR 01	12/01/2021	01/18/2022
A501	STAIR 02	12/01/2021	01/18/2022

PROJECT NAME
459 MAIN STREET REDEVELOPMENT

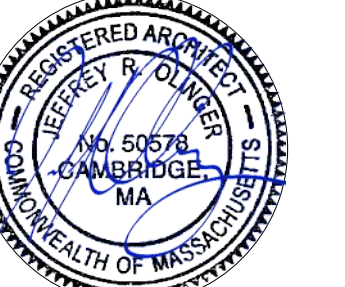
PROJECT ADDRESS:
459 MAIN STREET, READING, MA 01867

APPLICANT
Giuseppe C. Fodera
GCFodera Contracting Company
28 Harbor Street
Danvers, MA 01923

ARCHITECT
Olinger Architects
77 PLEASANT STREET
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CIVIL ENGINEER
FODERA
ENGINEERING
28 Harbor St., Suite 204
Danvers, MA 01923
Office: (617) 992-8492

REGISTRATION



ZONING REVIEW

Project number 2122
Date 01/18/2022
Drawn by HP
Checked by JRO
Scale 1" = 40'-0"

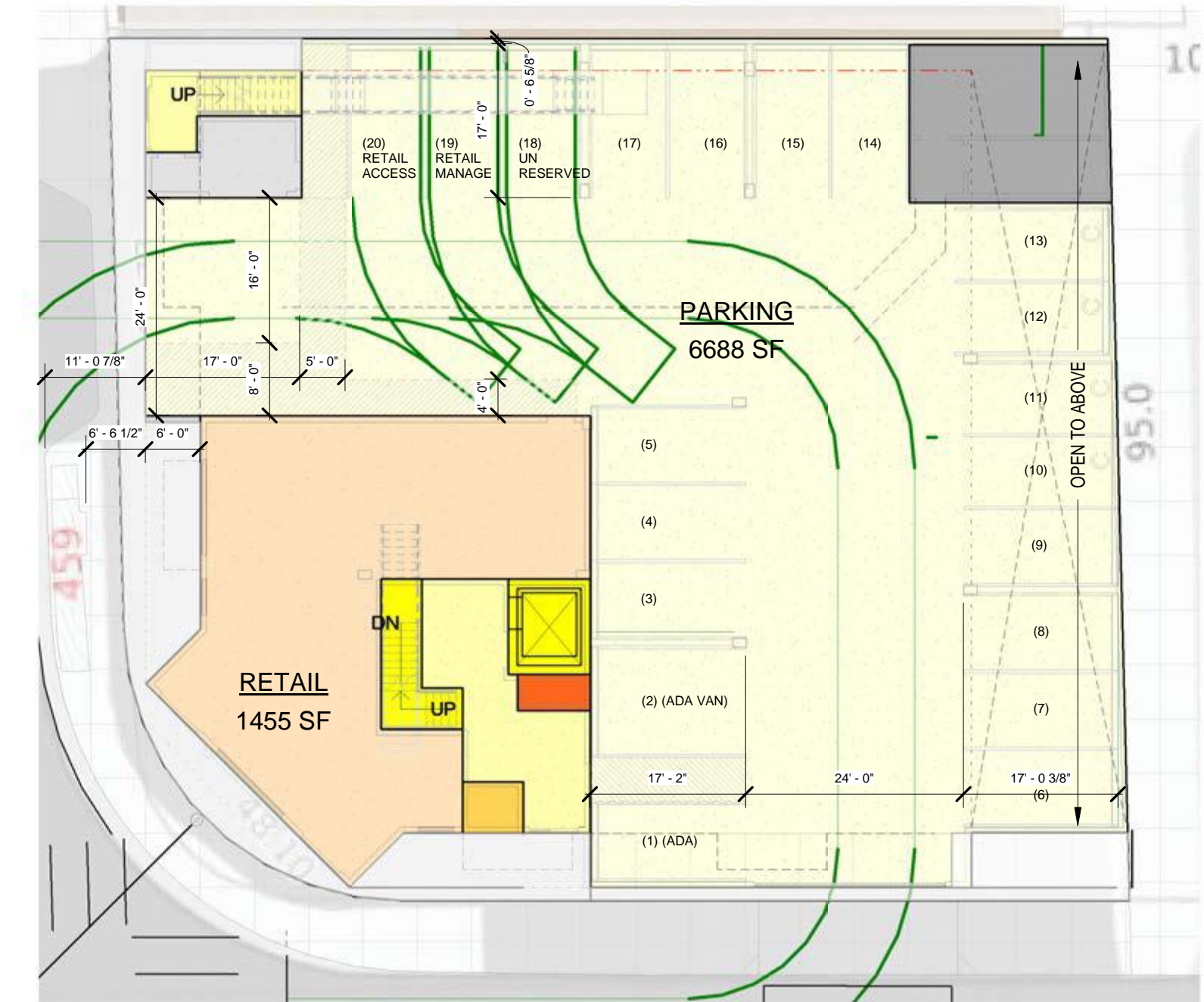
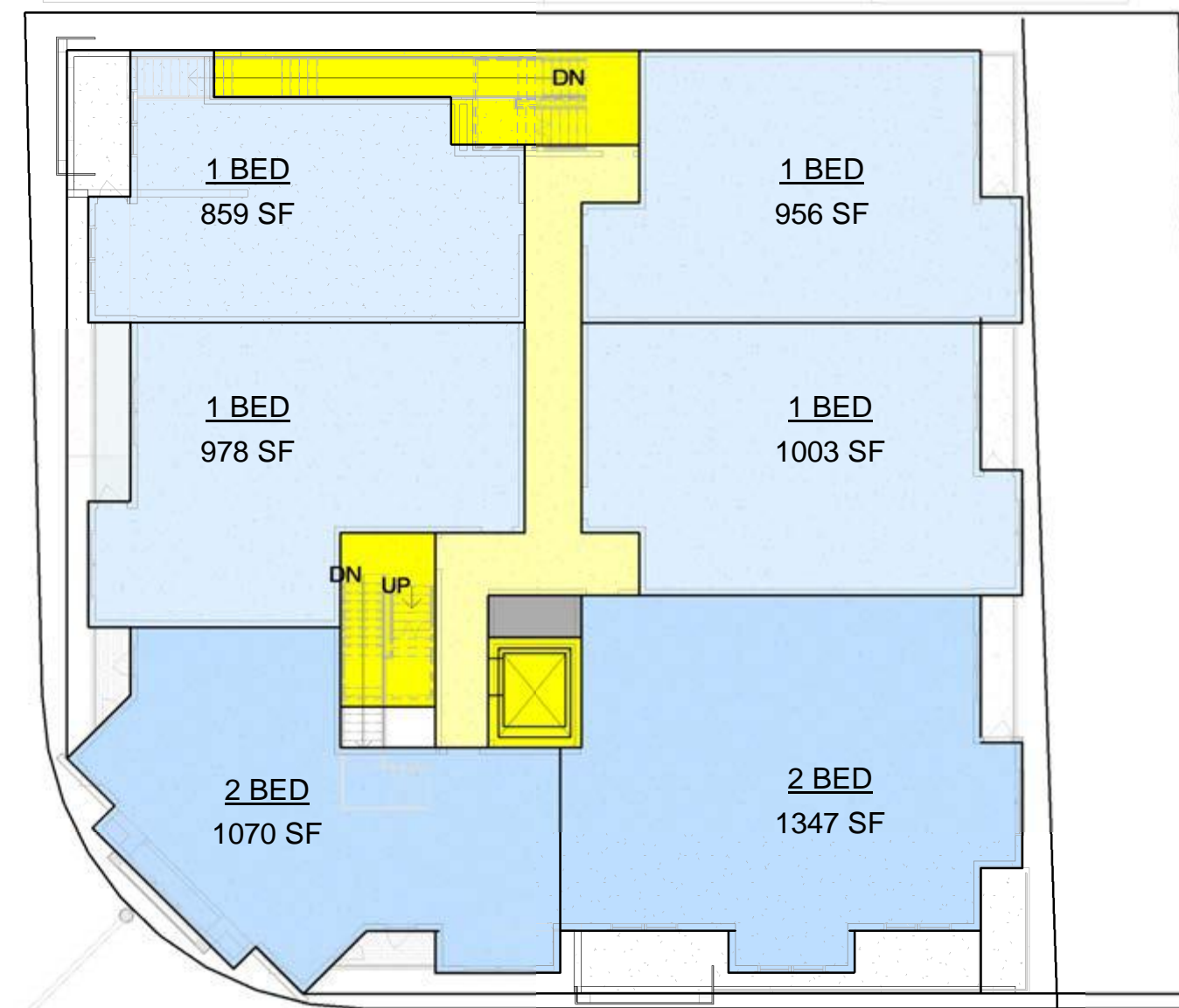
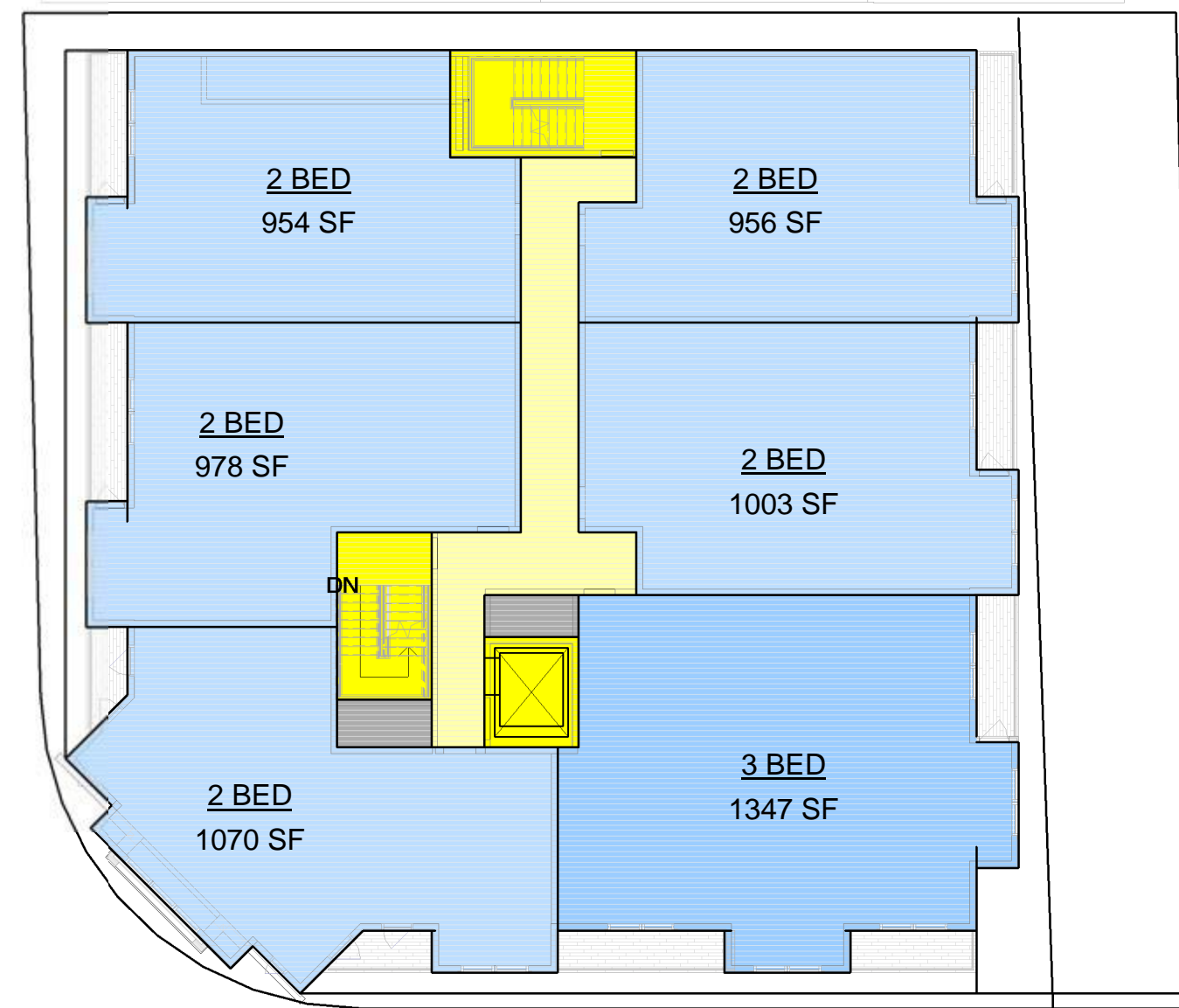
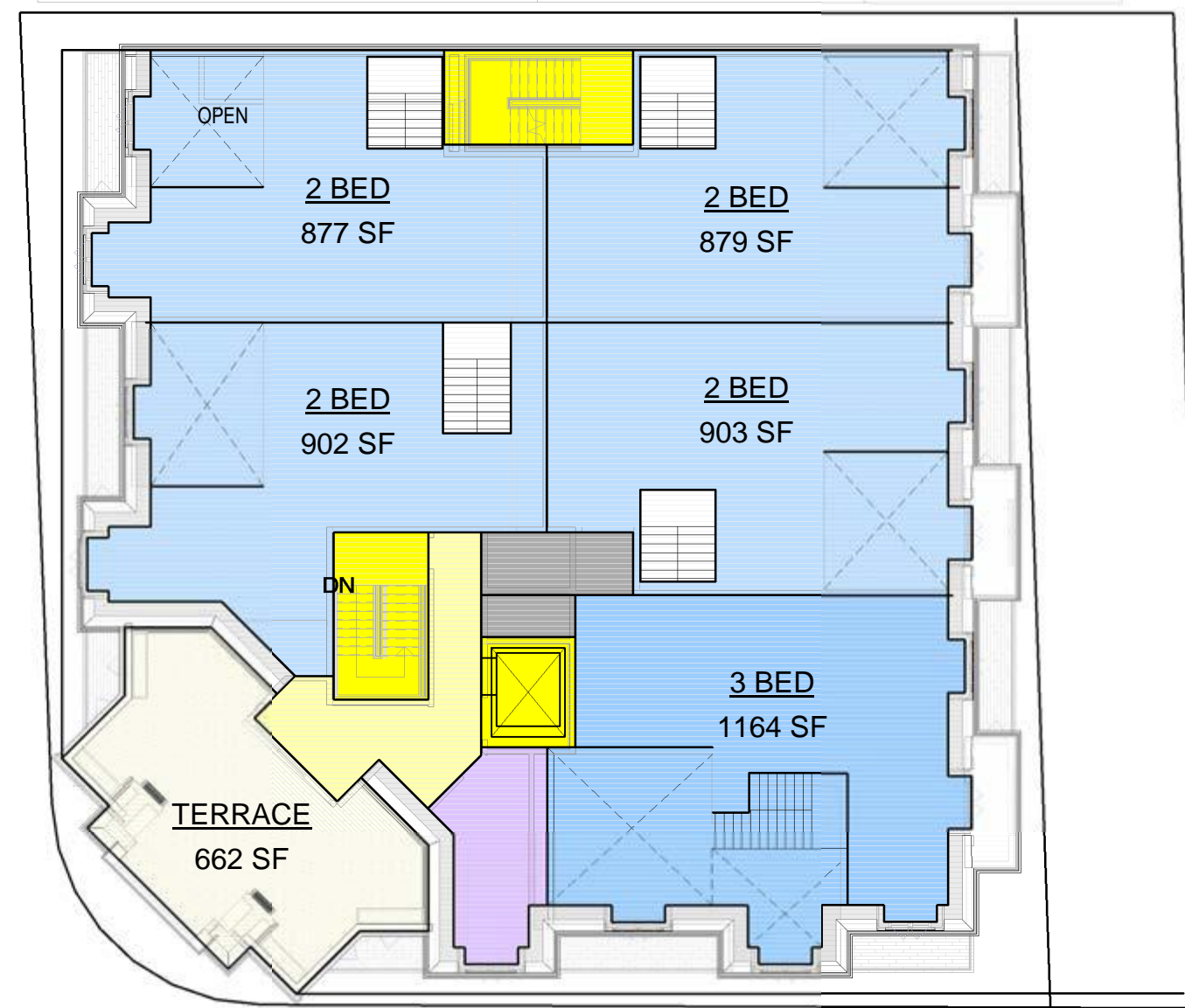
REVISIONS

No.	Description	Date
1	ZONING UPDATE	01/18/2022
2	ZONING UPDATE	03/07/2022
3	ZONING UPDATE	04/05/2022

COVER

G000

459 MAIN STREET



PROJECT NAME
459 MAIN STREET
REDEVELOPMENT

PROJECT ADDRESS:
459 MAIN STREET, READING,
MA 01867

APPLICANT
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4 G001_LEVEL 04
1/16" = 1'-0"

GFA DETAIL	
Name	Area

ELEV.	95 SF
STAIR 2	182 SF
STAIR 2	144 SF

LEVEL 04	
2 BED	877 SF
2 BED	879 SF
2 BED	903 SF
2 BED	902 SF
3 BED	1164 SF
AMMENITY	172 SF
EGRESS	242 SF
ELEV.	95 SF
STAIR 1	162 SF
STAIR 2	144 SF

ROOF	
ELEV.	118 SF
STAIR 1	181 SF
Grand total: 41	23985 SF

3 G001_LEVEL 03
1/16" = 1'-0"

GFA DETAIL	
Name	Area

ELEV.	95 SF
STAIR 2	263 SF
STAIR 2	150 SF

LEVEL 03	
2 BED	954 SF
2 BED	956 SF
2 BED	1003 SF
2 BED	1070 SF
2 BED	978 SF
3 BED	1347 SF
EGRESS	410 SF

2 G001_LEVEL 02
1/16" = 1'-0"

GFA DETAIL	
Name	Area

RETAIL	1455 SF
STAIR 1	95 SF
STORAGE	384 SF

LEVEL 02	
1 BED	859 SF
1 BED	956 SF
1 BED	1003 SF
1 BED	978 SF
2 BED	1347 SF
2 BED	1070 SF
EGRESS	423 SF

1 G001_LEVEL 01
1/16" = 1'-0"

GFA DETAIL	
Name	Area

LEVEL 0B	
COMMON AREA	1378 SF

LEVEL 01	
ELEV.	95 SF
FAAP	32 SF
LOBBY	282 SF
LOBBY	109 SF
MAIL	38 SF

GFA APT RENTAL	
Name	Area

LEVEL 02	
1 BED	859 SF
1 BED	956 SF
1 BED	1003 SF
1 BED	978 SF
2 BED	1347 SF
2 BED	1070 SF

LEVEL 03	
2 BED	954 SF
2 BED	956 SF
2 BED	1003 SF
2 BED	1070 SF
2 BED	978 SF
3 BED	1347 SF

LEVEL 04	
2 BED	877 SF
2 BED	879 SF
2 BED	903 SF
2 BED	902 SF
3 BED	1164 SF
Grand total: 17	17246 SF

PROJECT GFA:

21,558 SF TOTAL GFA (W/O UTILITY)

16,208 SF AREA LEVELS 2-4

19,082 SF APT RENTAL GFA

~85% EFFICIENCY (W/O L1 & RF)

GFA FLOOR LEVEL AREA	
Level	Area

LEVEL 0B	1378 SF
----------	---------

LEVEL 01	2488 SF
----------	---------

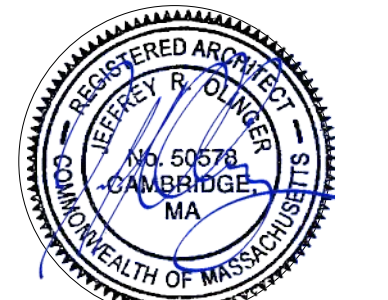
LEVEL 02	7143 SF
----------	---------

LEVEL 03	7137 SF
----------	---------

LEVEL 04	5540 SF
----------	---------

ROOF	299 SF
Grand total: 41	23985 SF

REGISTRATION



ZONING REVIEW

Project number	2122
Date	01/18/2022
Drawn by	Author
Checked by	Checker
Scale	1/16" = 1'-0"

REVISIONS

No.	Description	Date
1	ZONING UPDATE	01/18/2022
2	ZONING UPDATE	03/07/2022

PROJECT INFORMATION

G001

459 MAIN STREET

DSGD Design Guidelines

1. Introduction

The proposed development at 459 Main Street in Reading, MA is a Mixed-Use Transit Oriented Development that conforms with the Town's Downtown Smart Growth District Design Guidelines.

2. Purpose

This sheet is intended to assist with Project review by the Town. We have replicated the Town's Guidelines in outline form so that we may clearly communicate how this project satisfies the Town's requirements.

3. Applicability

The proposed development at 459 Main Street is located at the north-eastern boundary of the Town's DSGD Bus-B District and is abutting the Town's Single Family S-15 District, which makes the Town's DSGD Guidelines applicable to this parcel

4. Definitions

Definitions in ZBL Section 10.5.2 apply to these Design Standards and Guidelines. Where referenced, the Primary Commercial Streets in the DSGD shall be Main Street, Haven Street and High Street.

5. Application Requirements

Application for development within the District shall comply with the application requirements set forth in the Downtown Smart Growth District Bylaw (Reading Zoning Bylaw Section 10.5) and shall include all information noted below:

- a. Completed application form and application fee. (SEE OWNER RECEIPT DATED 11/22/2021)
- b. Development narrative including all uses, breakdown of square footage for each use, number of housing units and zoning summary. (SEE FIGURE 5.B/G-003)
- c. Locus map with lot identification. (SEE FIGURE 5.C/G-003)
- d. Existing site plan, including all existing structures, trees, topography and easements, prepared by a licensed surveyor. (SEE FIGURE 5.D/G-003)
- e. Certified list of abutters signed by the Town Assessor, including two sets of stamped and addressed envelopes to all abutters. (SEE OWNER RECEIPT DATED 11/22/2021)
- f. Photos of adjacent properties and other properties impacted by the development project. (SEE FIGURE 5.F/G-003)
- g. Proposed site plans, indicating project boundaries, building footprints, on-site and remote parking areas (where applicable), drainage and topography. All plans shall be prepared and stamped by a professional engineer. (SEE SHEET C-001_SITE PLAN)
- h. Proposed architectural plans, including floor plans for all levels including the roof, and building elevations for all sides including courtyards and interior lot elevations. All plans shall be prepared and stamped by a registered architect. (SEE SHEETS A-101 - A-104, A-300 - A-304)
- i. Landscape plan showing existing and proposed landscaping. (SEE FIGURE 5.D & SHEET G-004)
- j. Massing perspective sketches or renderings illustrating the key elements of the development proposal within its context. (SEE SHEET G-002)
- k. Proposed exterior lighting plan with photometric information. (SEE SHEET C-002_SITE LIGHTING PLAN)
- l. Proposed stormwater management plan with rainwater calculations, and O&M Plan. (SEE SHEET C-003_STORM WATER MANAGEMENT PLAN)
- m. Parking Plan including utilization of municipal lots, on-street parking, and shared parking arrangements, detailing on- and/or off-site accommodations to address the parking needs for proposed commercial spaces and employees. (SEE SHEET C-001_SITE PLAN)
- n. Traffic Study that accounts for all recently approved commercial, mixed-use and multi-family housing projects in and within a half-mile radius of the Downtown Smart Growth District. (SEE REPORT DATED 07/02/2021)
- o. Shadow Studies, if required pursuant to Section 10.5.5 herein. (SEE SHEET G-003_SHADOW STUDY)
- p. Sample boards and color palettes for all exterior building materials. (SEE SHEET G-006_PROJECT MATERIALS BOARD)
- q. Evidence that the Development Project complies with the cost and eligibility requirements of Reading Zoning Bylaw Section 10.5.10. (SEE OWNER ESTIMATE DATED 07/02/2021)
- r. Development Project plans that demonstrate compliance with the design and construction standards of Reading Zoning Bylaw Section 10.5.10.3. (SEE OWNER DEVELOPEMNT PLAN)
- s. A form of the Affordable Housing Restriction that satisfies the requirements of Reading Zoning Bylaw Section 10.5.10.5. (SEE OWNER DEVELOPEMNT PLAN)

FIGURE 5.B

DEVELOPMENT NARRATIVE

Approximate Unit Mix

- (12) Total number of residential units
 - (4) 1-Bedroom
 - (7) 2-Bedroom
 - (1) 3-Bedroom
- (1) Total number of commercial units
 - (1) Major Corner Retail Unit

Improved Public Realm Experience

- Enliven a currently one-dimensional parcel with a vibrant mix of uses designed to activate parcel throughout day and evening hours.
- New building will improve the view from mainstreet by replacing an aging tire repair station with a new development that better conforms with the DSGD objectives.
 - Opportunity for high value public space activated by retail uses
 - Presents a welcoming 'front porch' for visitors arriving to Reading's downtown along Main Street
- Remove 1 existing curb cuts to create a passenger loading space on Main Street

Parking

- (20) Garage parking spaces
- (15) Residential spaces = 12 x 1.25
- (4) Compact = 26.66% < 30%
- (1.66) Garage parking ratio surpasses required (1.25) Parking ratio

Features for Residents

- "Common" building roof deck
- All units have balconies
- ADA adaptable units
- Garage parking
- In-unit washer/dryer
- Sustainable building construction and unit features

Zoning Considerations

- 40R designation based upon mixed-use criteria
- Design FAR of 2.18 vs Zoned FAR of 2.8 (21,919 SF / 10,019 SF)
- **PARKING IS UNENCLOSED AND NOT INCLUDED IN FAR**
- Design parking of 1.25x vs zoned parking of 1.25x
- Design unit density exceeds 20 units/acre zoned density

*Includes unenclosed parking area. Inclusive of parking 1.68 of 1.72.

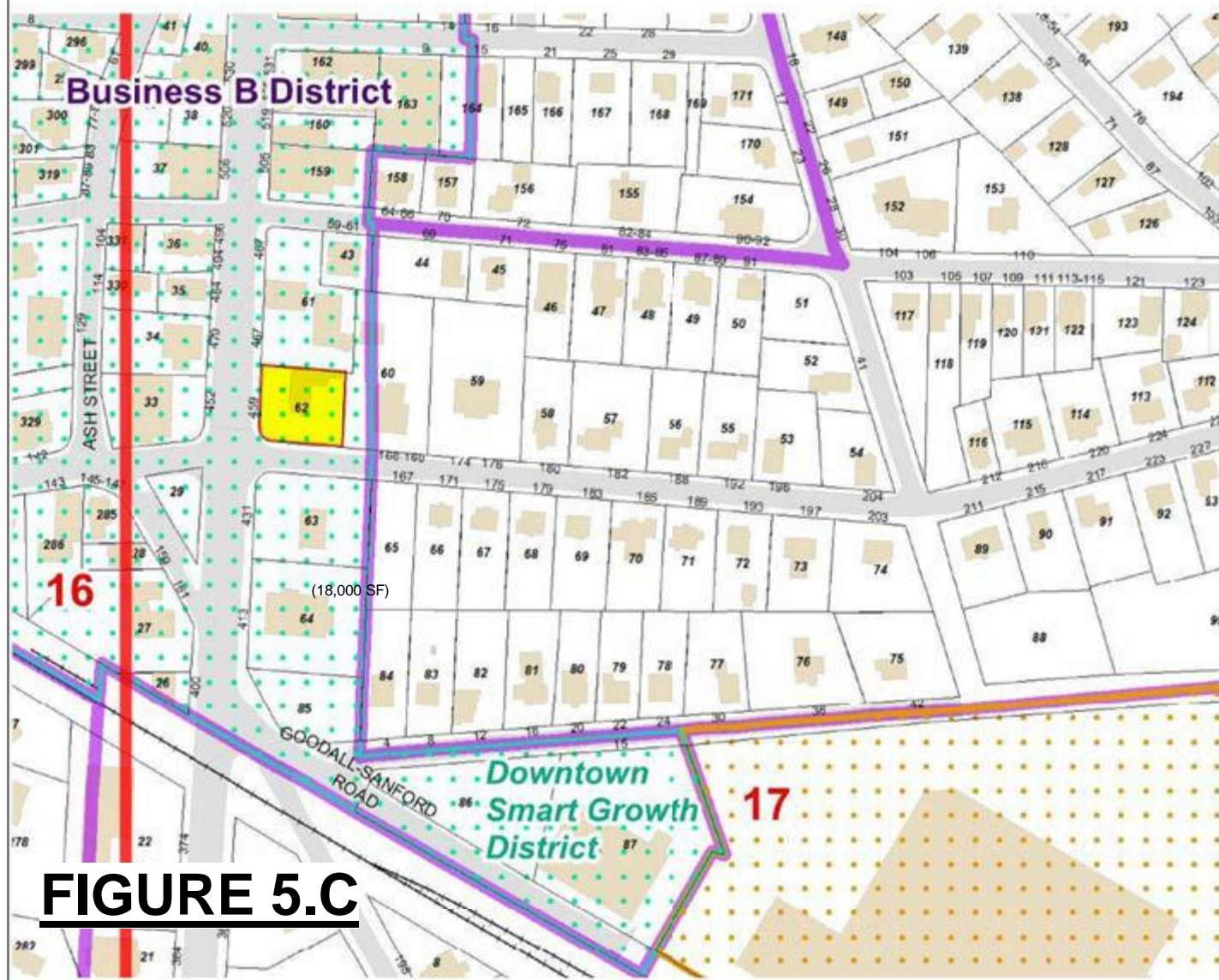


FIGURE 5.C



FIGURE 5.D

SCALE: 1" = 40'

FIGURE 5.F

ABUTTER PHOTOGRAPHS

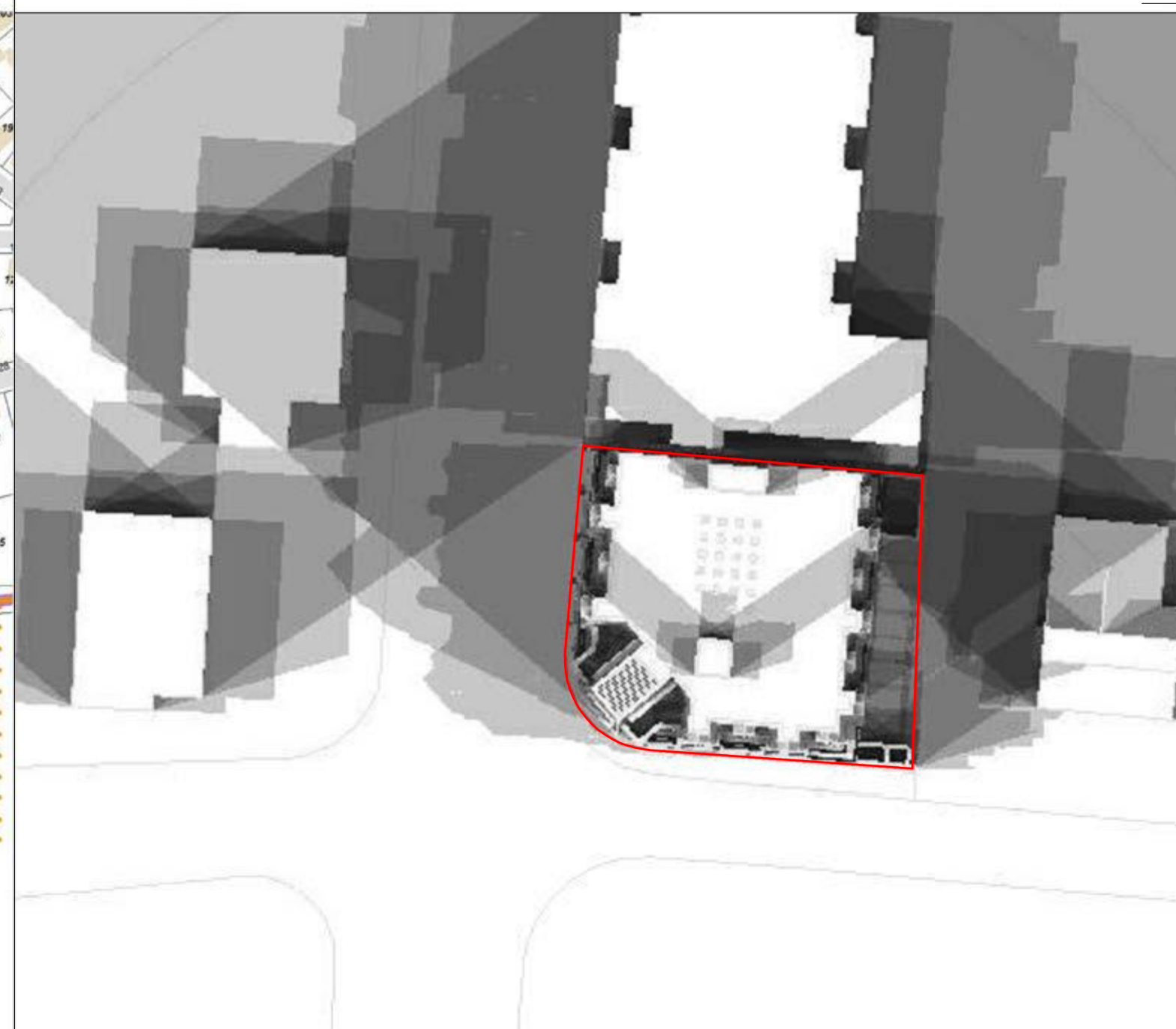


FIG. 5.F.1 - 467 MAIN STREET
FIG. 5.F.2 - 452 MAIN STREET
FIG. 5.F.3 - 172 WASHINGTON STREET
FIG. 5.F.4 - 431 MAIN STREET

FIGURE 5.O

SHADOW STUDY

SEE SHEET G-003 FOR DETAILED SHADOW STUDY



6. Guiding Principles

- 6.1 Neighborhood Character & Historic Context
This Project seeks to compliment and enhance the Town's Historic Context and Neighborhood Character
- 6.2 Mixed Use Development
This Project will provide over 1,500 sf of retail space in addition to 12 residential living units
- 6.3 Human Scale Design to Enliven Downtown
This Project seeks to activate the street scape at the corner of Main & Washington, and at various locations along the buildings's frontage to enhance the pedestrian experience
- 6.4 Connectivity and Relationship to Surrounding Neighborhoods
This Project seeks to create a continuous streetscape that marks a Start to the Main Street commercial corridor
- 6.5 Streetscape Character and Landscape Elements
This Project seeks to maximize the benefits of our our podium design, with periodic planters located at the second floor to soften the building's presence at the street
- 6.6 Smart Growth and Sustainable Development
This Project will utilize Low Impact Development Techniques where possible, and energy efficient sustainable design strategies capable of meeting Energy Star V3.1 standards

FIGURE 7

BUILDING DEIGN

- 7.1 Massing (SEE FIGS 7.11 & 7.12)
- 7.2 Appearance (SEE FIGS 7.21 - 7.25)
- 7.3 Entries (SEE FIGS 7.21 - 7.25)
- 7.4 Fenestration (SEE FIGS 7.21 - 7.25)
- 7.5 Materials (SEE FIGS 7.21 - 7.25)

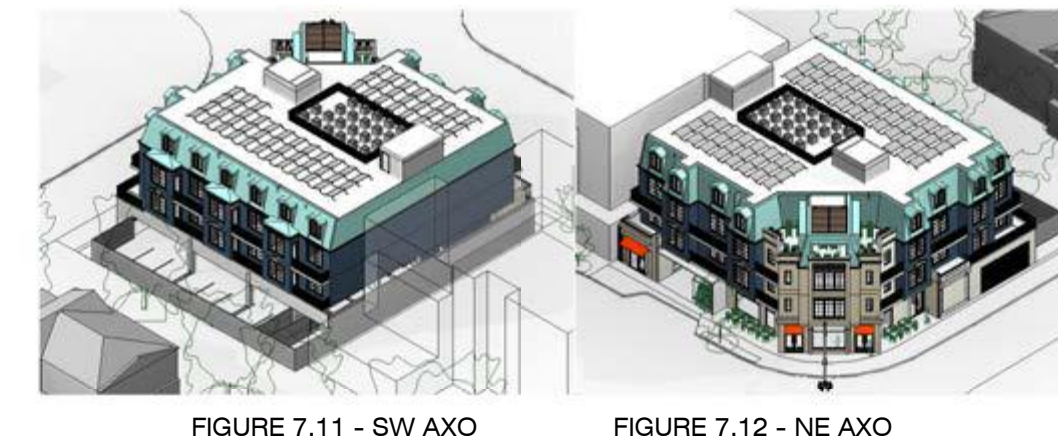


FIGURE 7.11 - SW AXO
FIGURE 7.12 - NE AXO



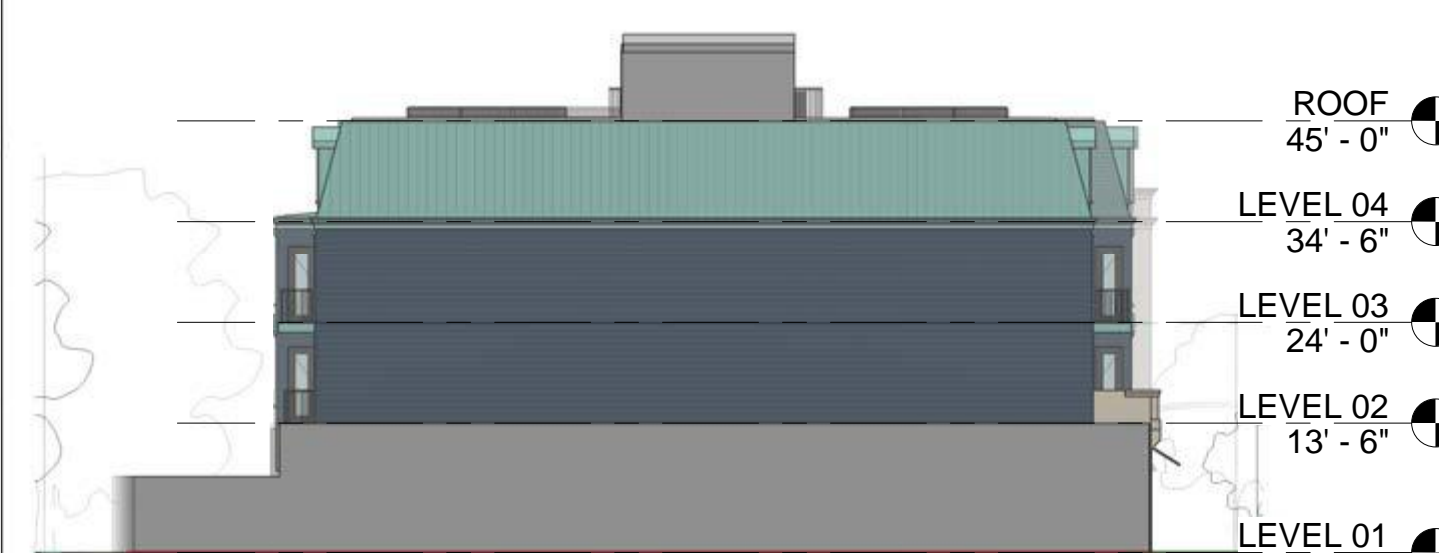
7.1 G002_WEST
1" = 20'-0"



7.2 G002_SOUTH
1" = 20'-0"



7.3 G002_EAST
1" = 20'-0"



7.4 G002_NORTH
1" = 20'-0"

8. Site Design Standards

- 8.1 Sidewalks (SEE C-001 & ASSOCIATED DETAILS) (SEE G-004 FOR READING DSGD PEDESTRIAN RETAIL PLAN)
- 8.2 Driveways and Parking (SEE C-001 & ASSOCIATED DETAILS)
- 8.3 Landscaping (SEE A-101 STREET LEVEL PLAN)
- 8.4 Lighting (SEE C-002 & ASSOCIATED DETAILS)
- 8.5 Utility Areas and Utilities (SEE C-001 & ASSOCIATED DETAILS)
- 8.6 Drainage and Storm Water Management (SEE C-003 & ASSOCIATED DETAILS)
9. Signage Design Standards (SEE FIGURES 7.21 - 7.25) (SEE OWNER DEVELOPEMNT PLAN FOR ADDITIONAL INFORMATION)
10. Additional Considerations for District Edges and Transitional Areas
SEE SETBACK AT 4TH FLOOR AT LOT LINE ABUTTING S-15 ZONING DISTRICT REFERENCE FIGURES (7.21 - 7.25)

PROJECT NAME

459 MAIN STREET REDEVELOPMENT

PROJECT ADDRESS:

459 MAIN STREET, READING, MA 01867

APPLICANT

Giuseppe C. Fodera
GCFodera Contracting Company
28 Harbor Street
Danvers, MA 01923

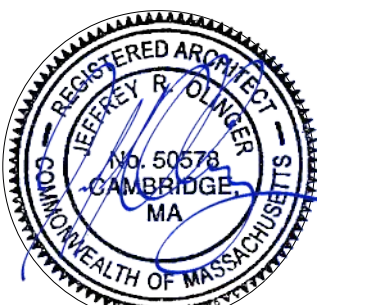
ARCHITECT

Olinger Architects

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INFO@OLINGER.IO

CIVIL ENGINEER
FODERA
ENGINEERING
28 Harbor St., Suite 204
Danvers, MA 01923
Office: (617) 952-8492

REGISTRATION



ZONING REVIEW

Project number	2122
Date	01/18/2022
Drawn by	Author
Checked by	Checker
Scale	As indicated

REVISIONS

No.	Description	Date
1	ZONING UPDATE	01/18/2022
3	ZONING UPDATE	04/05/2022
4	ZONING UPDATE	05/31/2022

ZONING GUIDELINES

G002

459 MAIN STREET

PROJECT NAME
**459 MAIN STREET
 REDEVELOPMENT**

PROJECT ADDRESS:
 459 MAIN STREET, READING,
 MA 01867

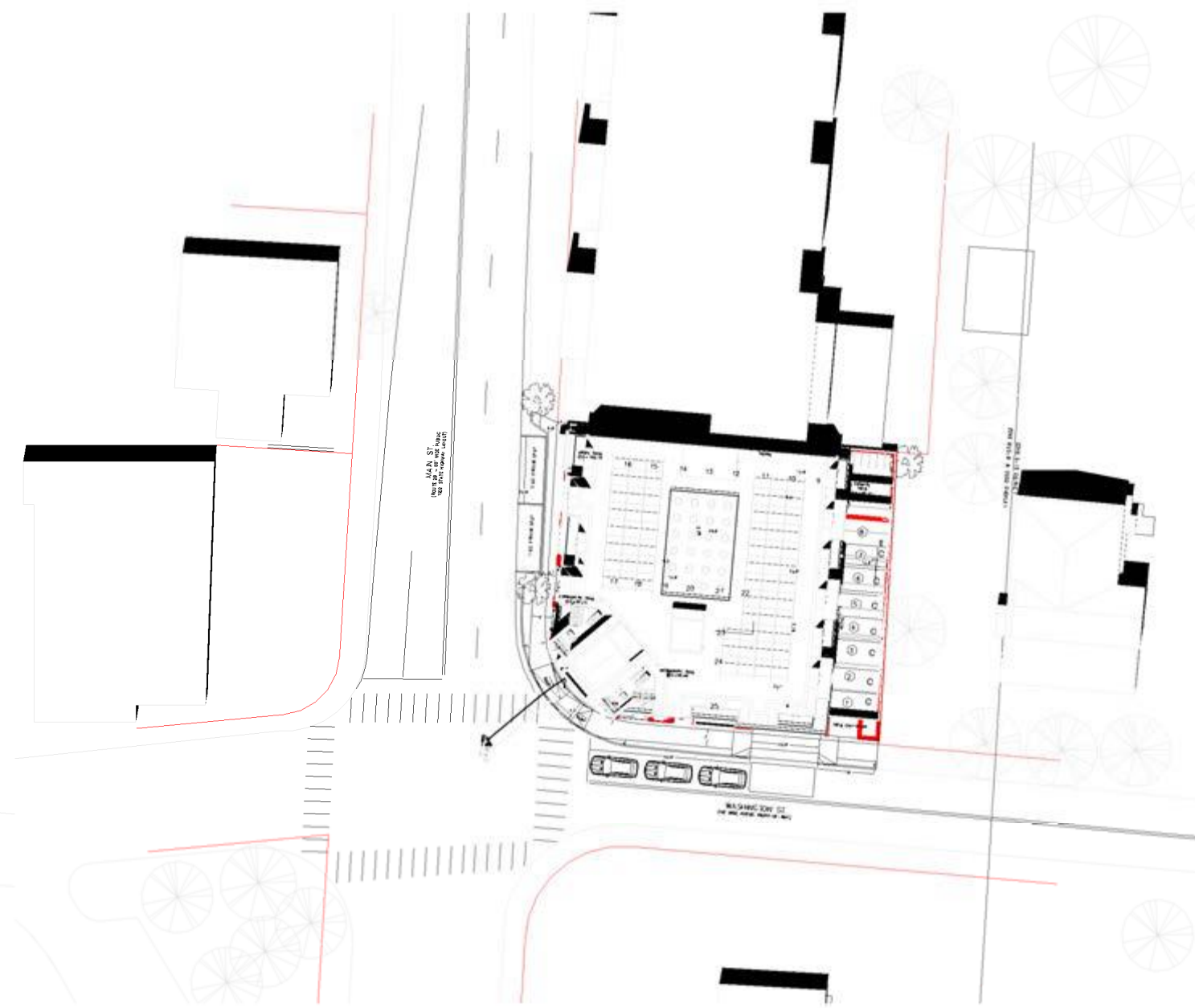
APPLICANT
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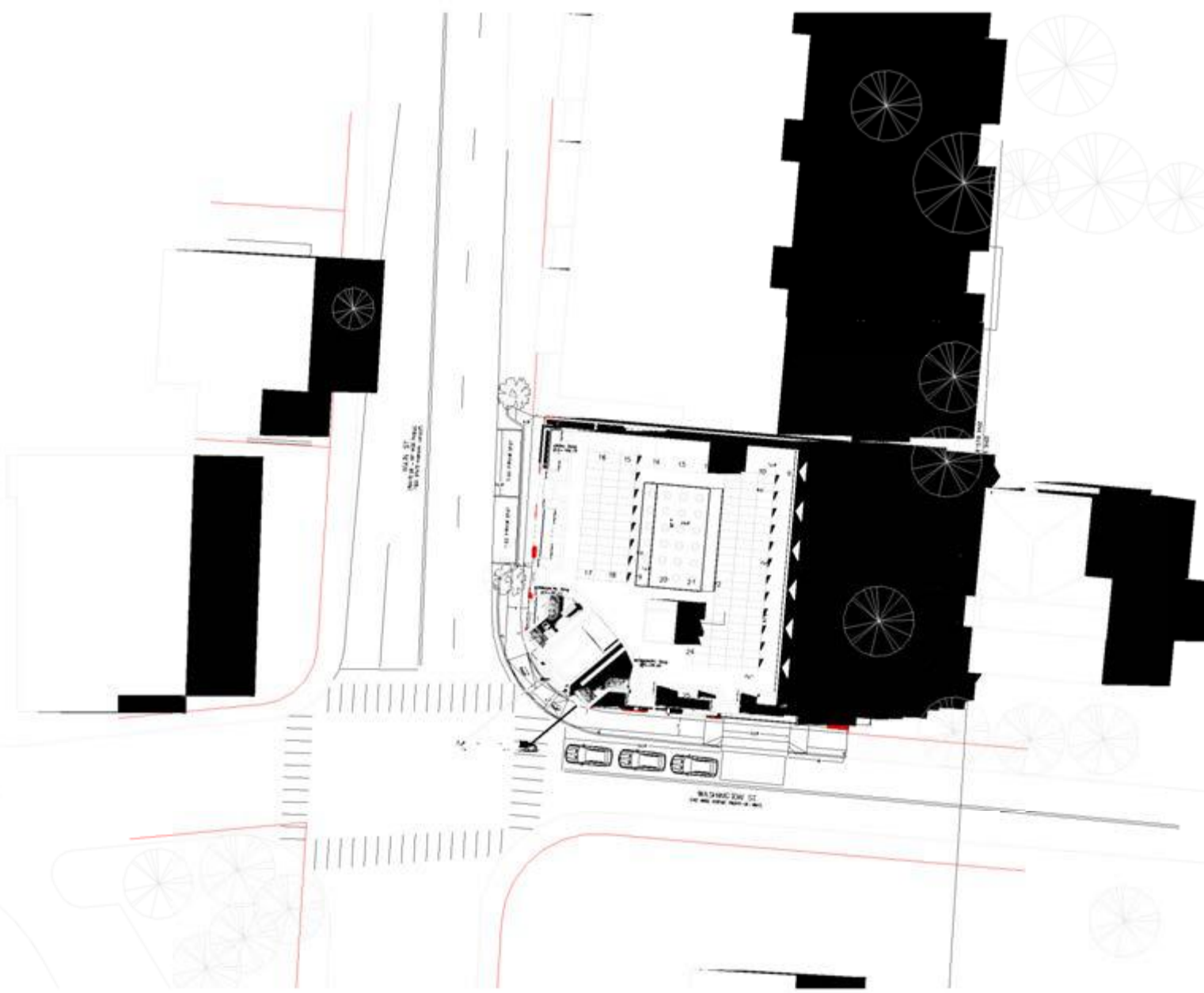
CIVIL ENGINEER
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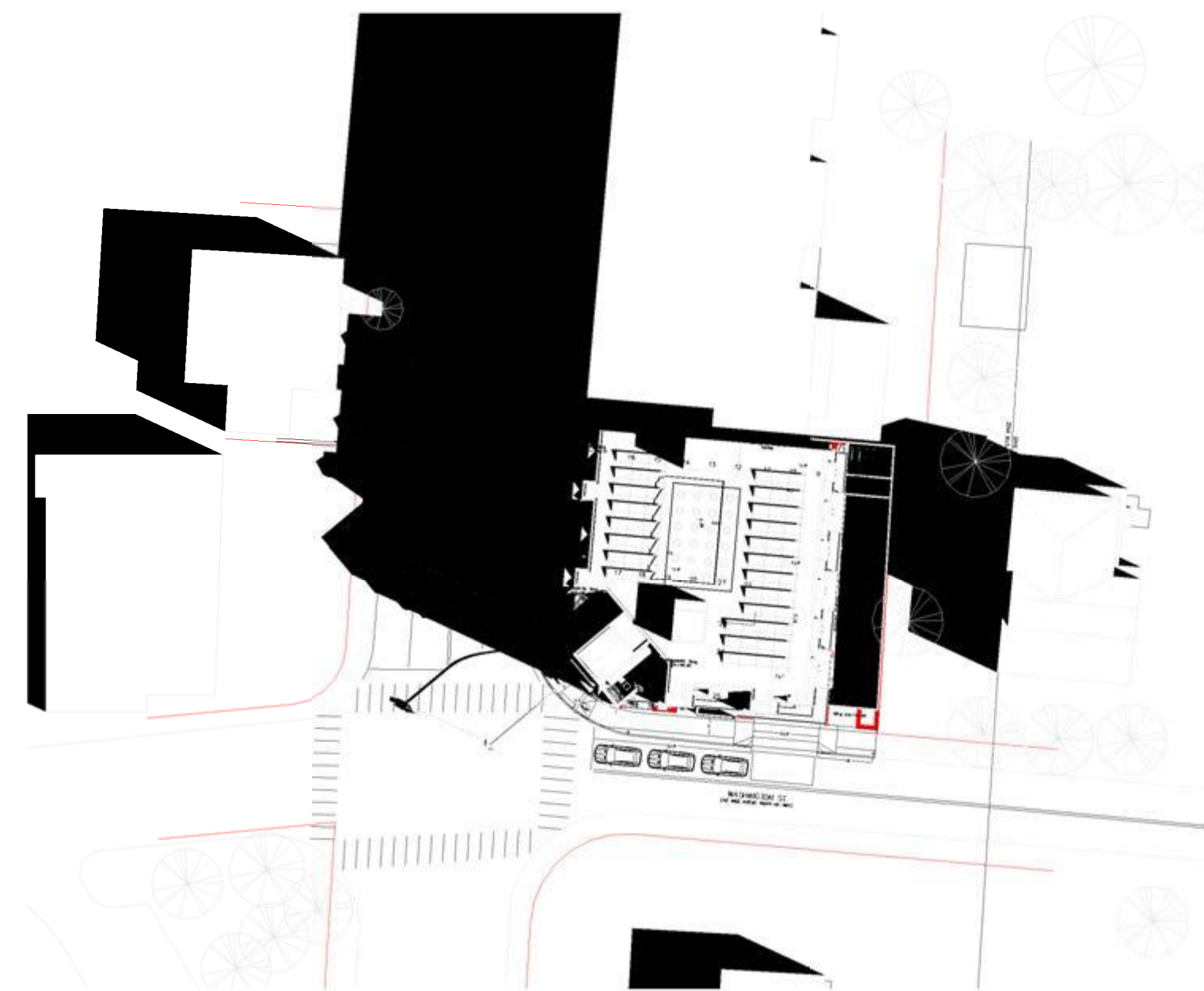
1 G002_SHADOW STUDY_06.20.0800
 1" = 50'-0"



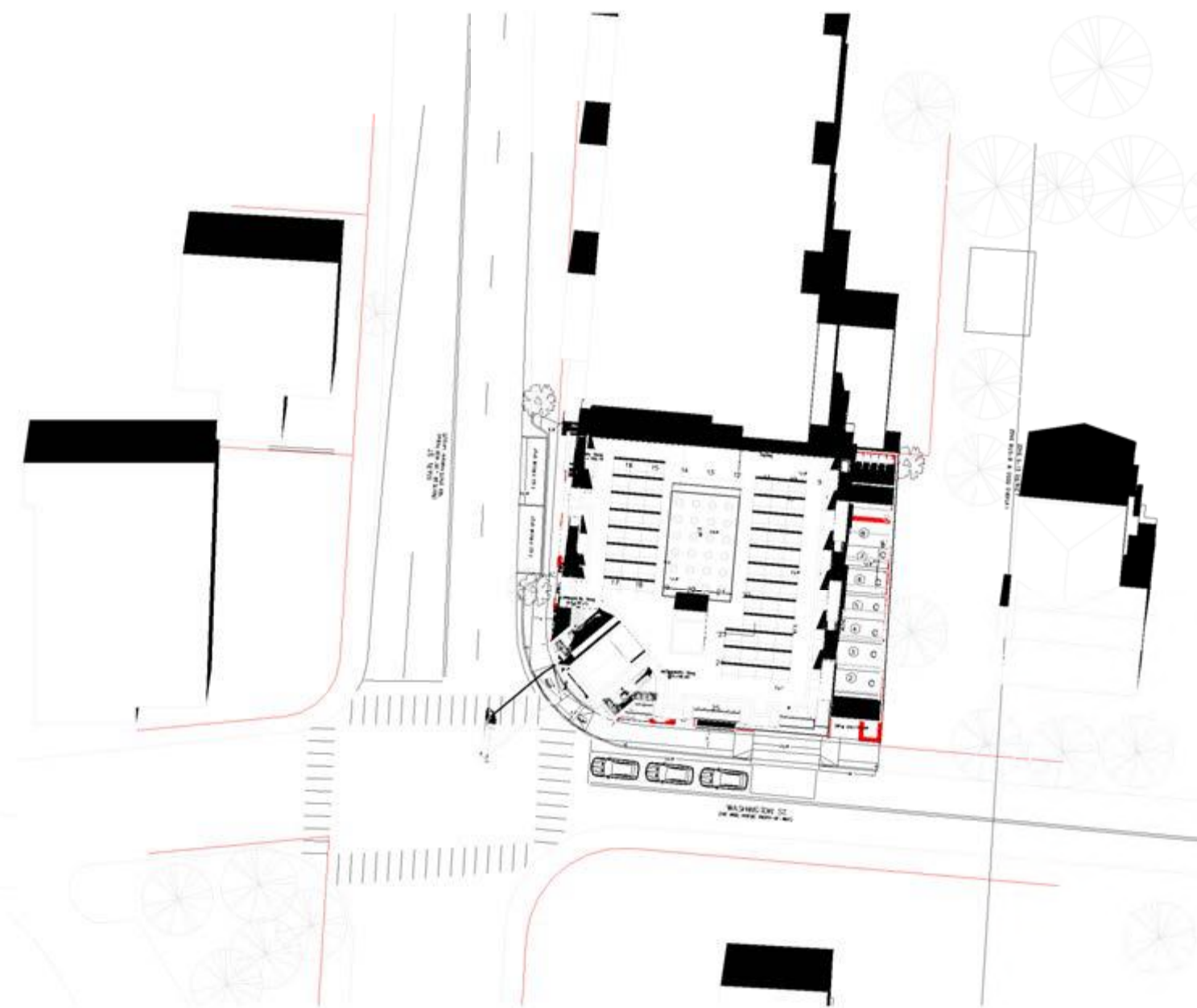
2 G002_SHADOW STUDY_06.20.1200
 1" = 50'-0"



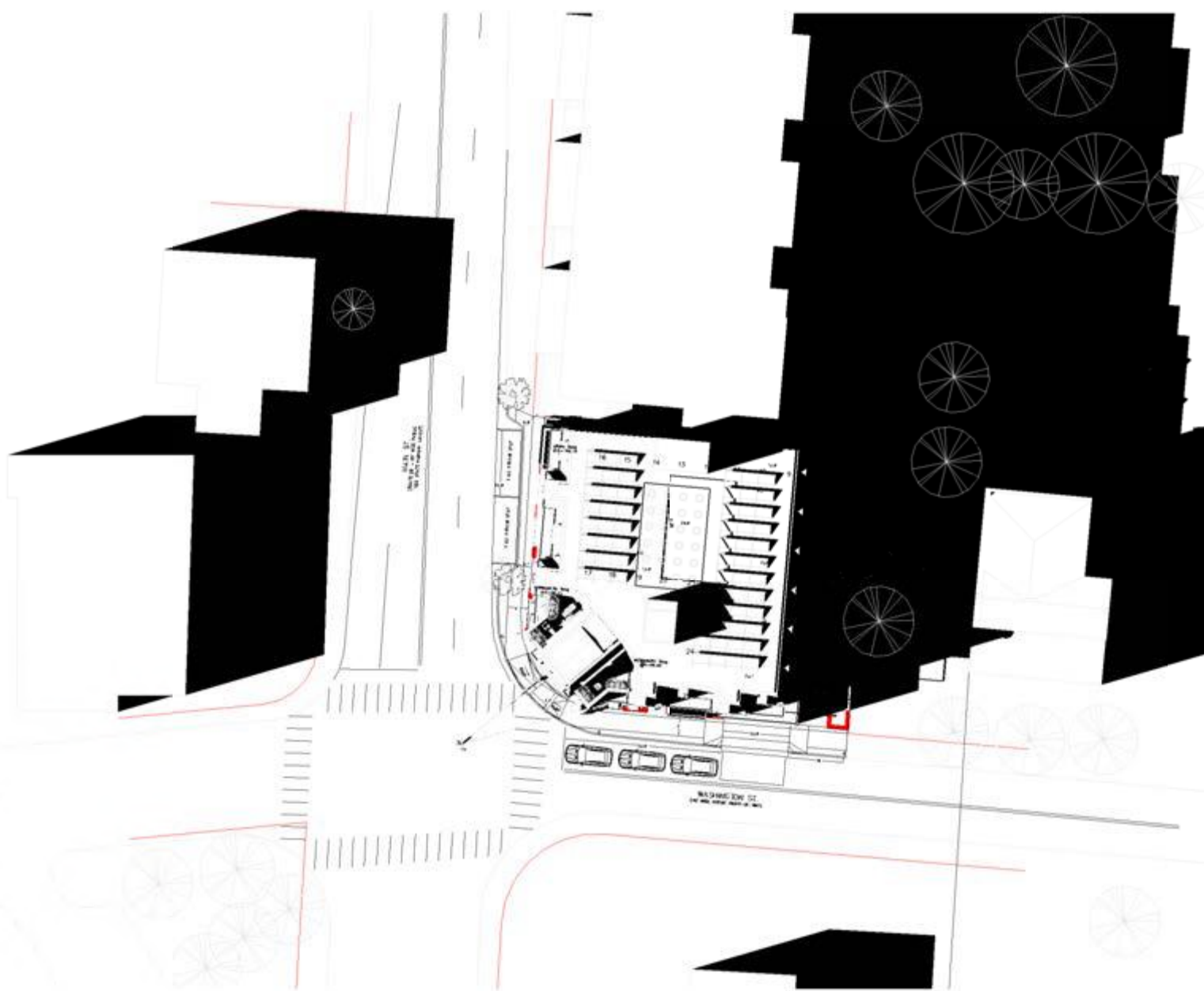
3 G002_SHADOW STUDY_06.20.1600
 1" = 50'-0"



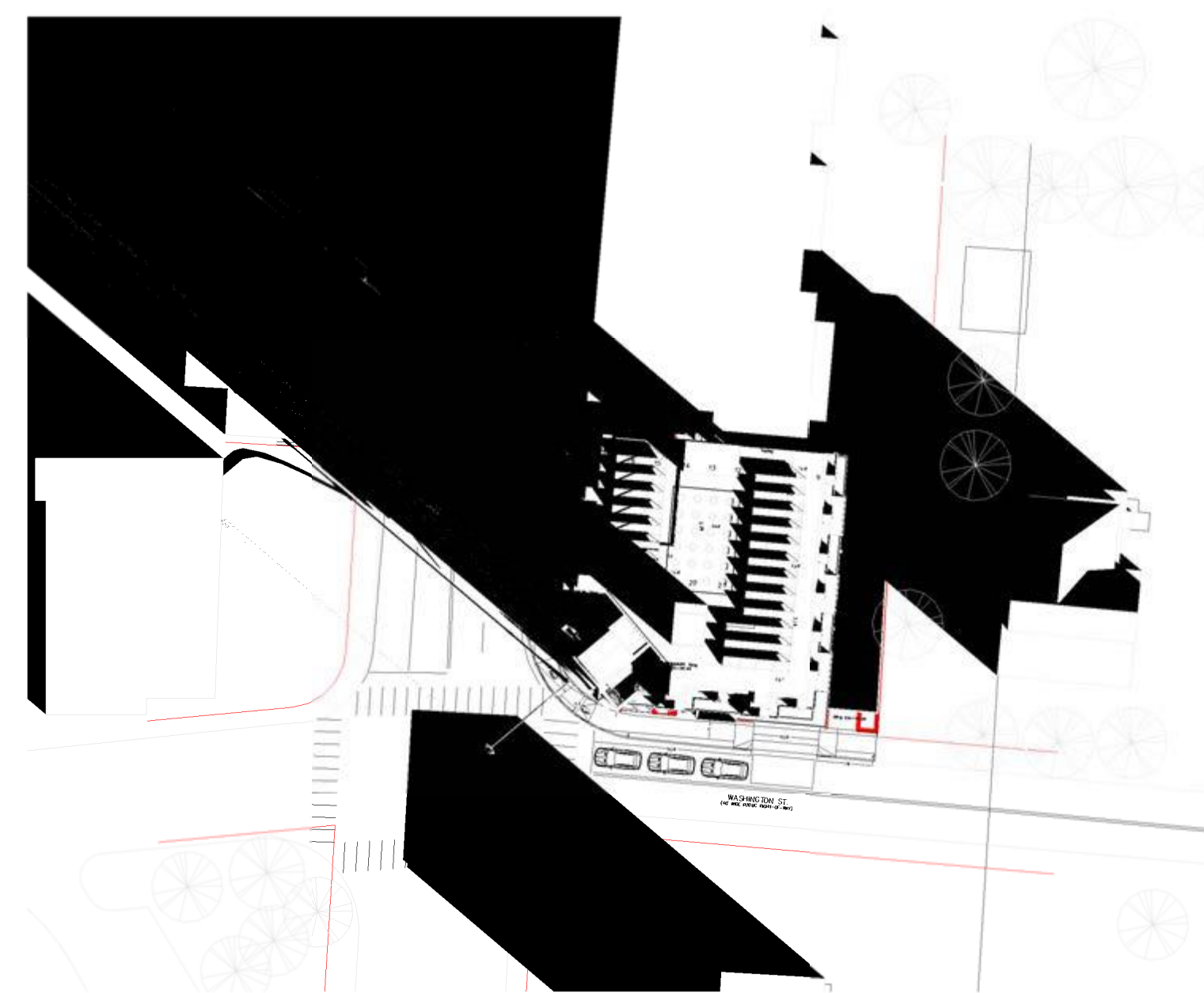
4 G002_SHADOW STUDY_09.20.0800
 1" = 50'-0"



5 G002_SHADOW STUDY_09.20.1200
 1" = 50'-0"



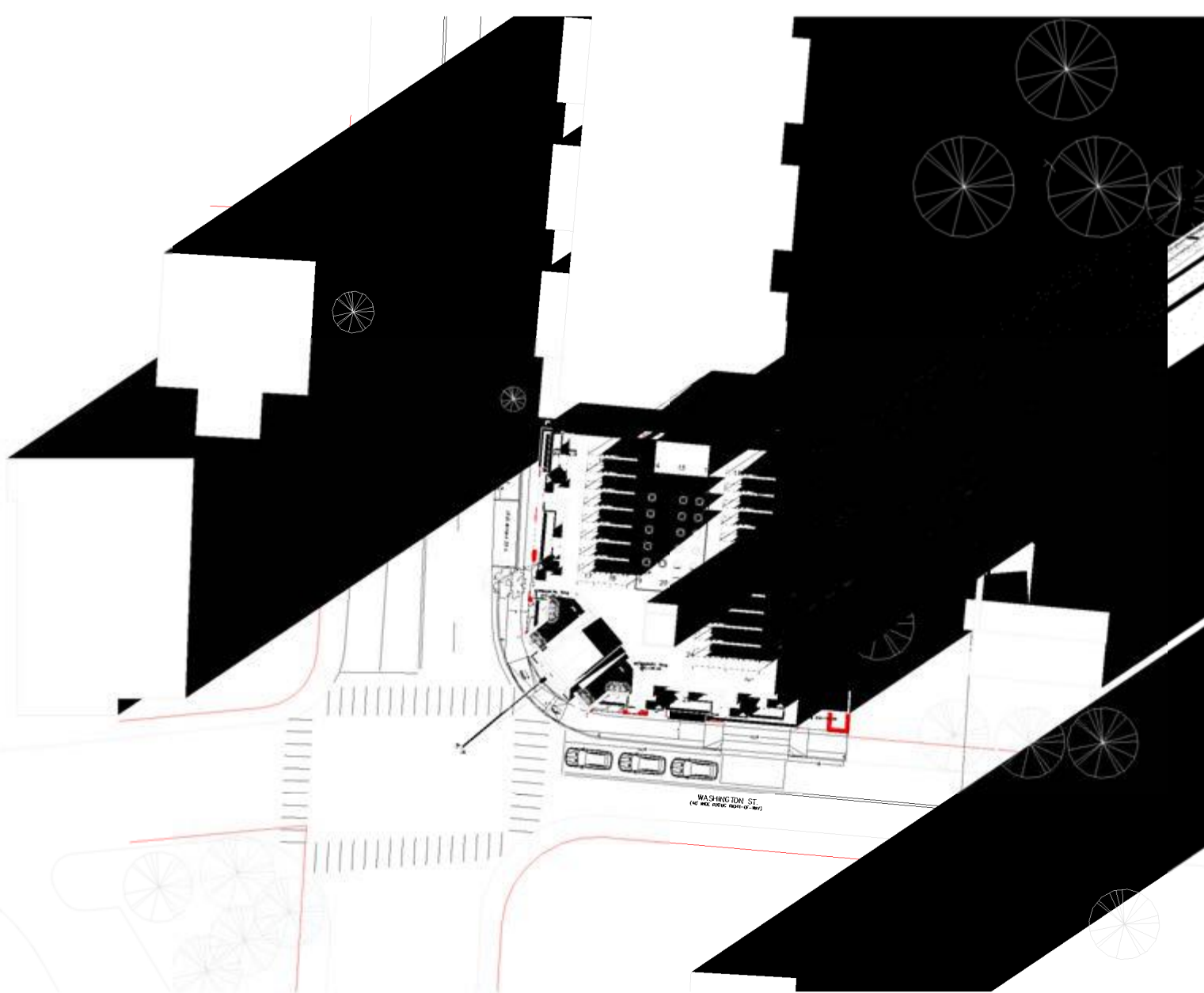
6 G002_SHADOW STUDY_09.20.1600
 1" = 50'-0"



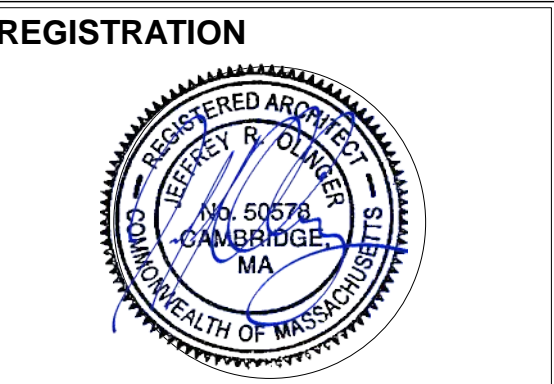
7 G002_SHADOW STUDY_12.20.0800
 1" = 50'-0"



8 G002_SHADOW STUDY_12.20.1200
 1" = 50'-0"



9 G002_SHADOW STUDY_12.20.1600
 1" = 50'-0"



ZONING REVIEW

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Scale	1" = 50'-0"

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1	ZONING UPDATE	01/18/2022

SHADOW STUDY

G003

459 MAIN STREET



1 G004_4TH FLOOR TERRACE EXTERIOR



2 G004_VIEW FROM CORNER PARK



3 G004_MAIN VIEW



4 G004_WASHINGTON VIEW

PROJECT NAME
**459 MAIN STREET
 REDEVELOPMENT**

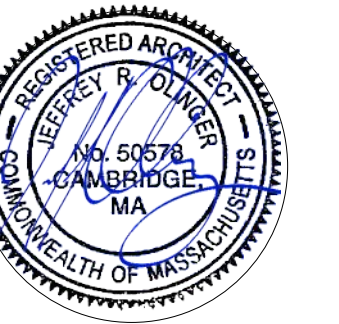
PROJECT ADDRESS:
 459 MAIN STREET, READING,
 MA 01867

APPLICANT
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REGISTRATION



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3	ZONING UPDATE	04/05/2022

PROJECT VIEWS

G004

459 MAIN STREET



PROJECT NAME
**459 MAIN STREET
 REDEVELOPMENT**

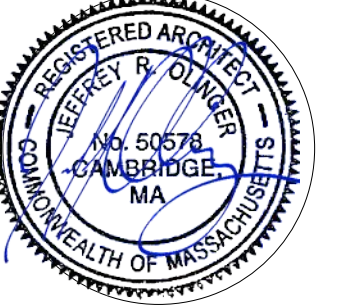
PROJECT ADDRESS:
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4	ZONING UPDATE	05/31/2022

GROUND LEVEL AXO

G005

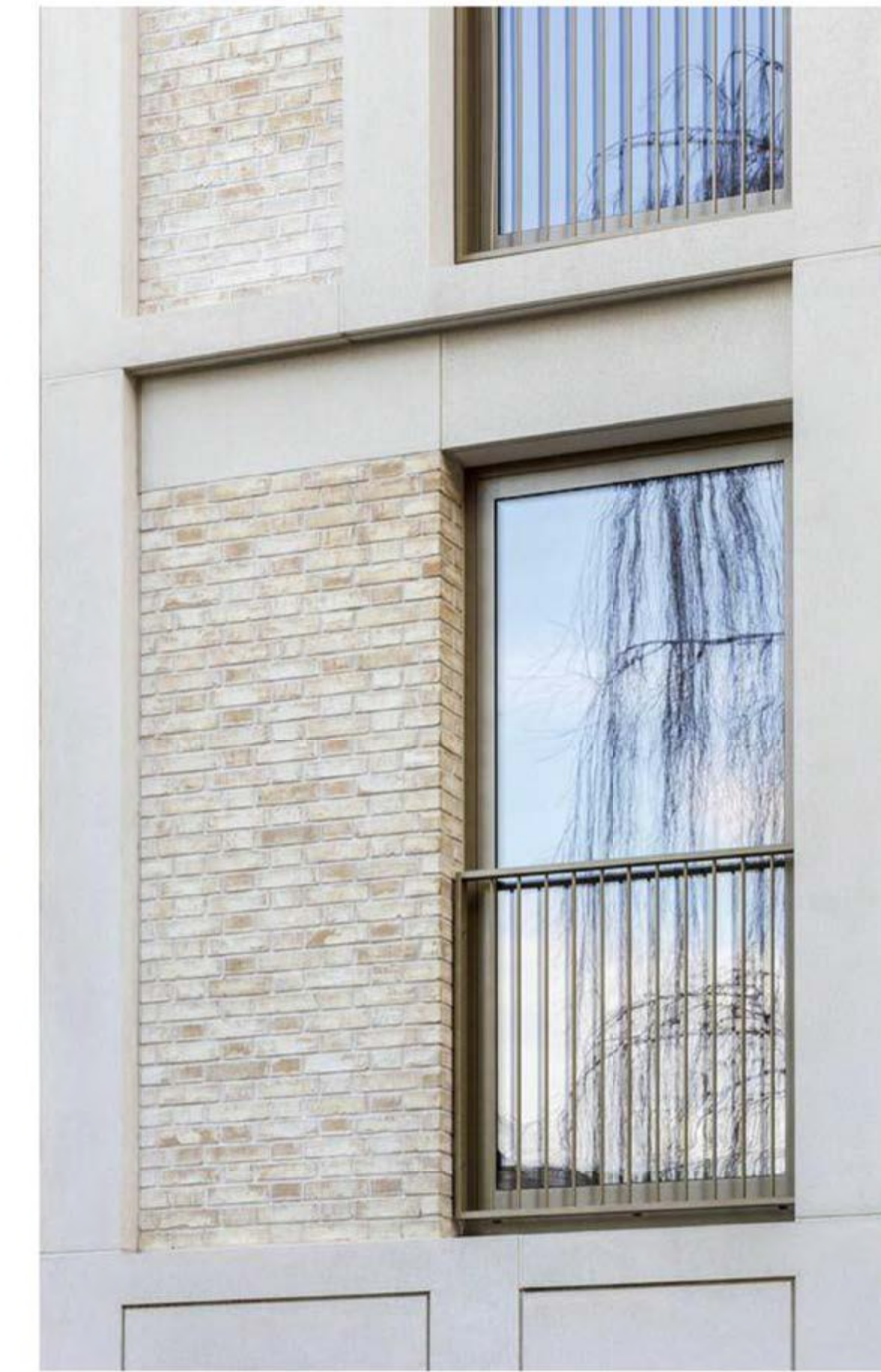
459 MAIN STREET



NAVY BLUE SHIPLAP SIDING



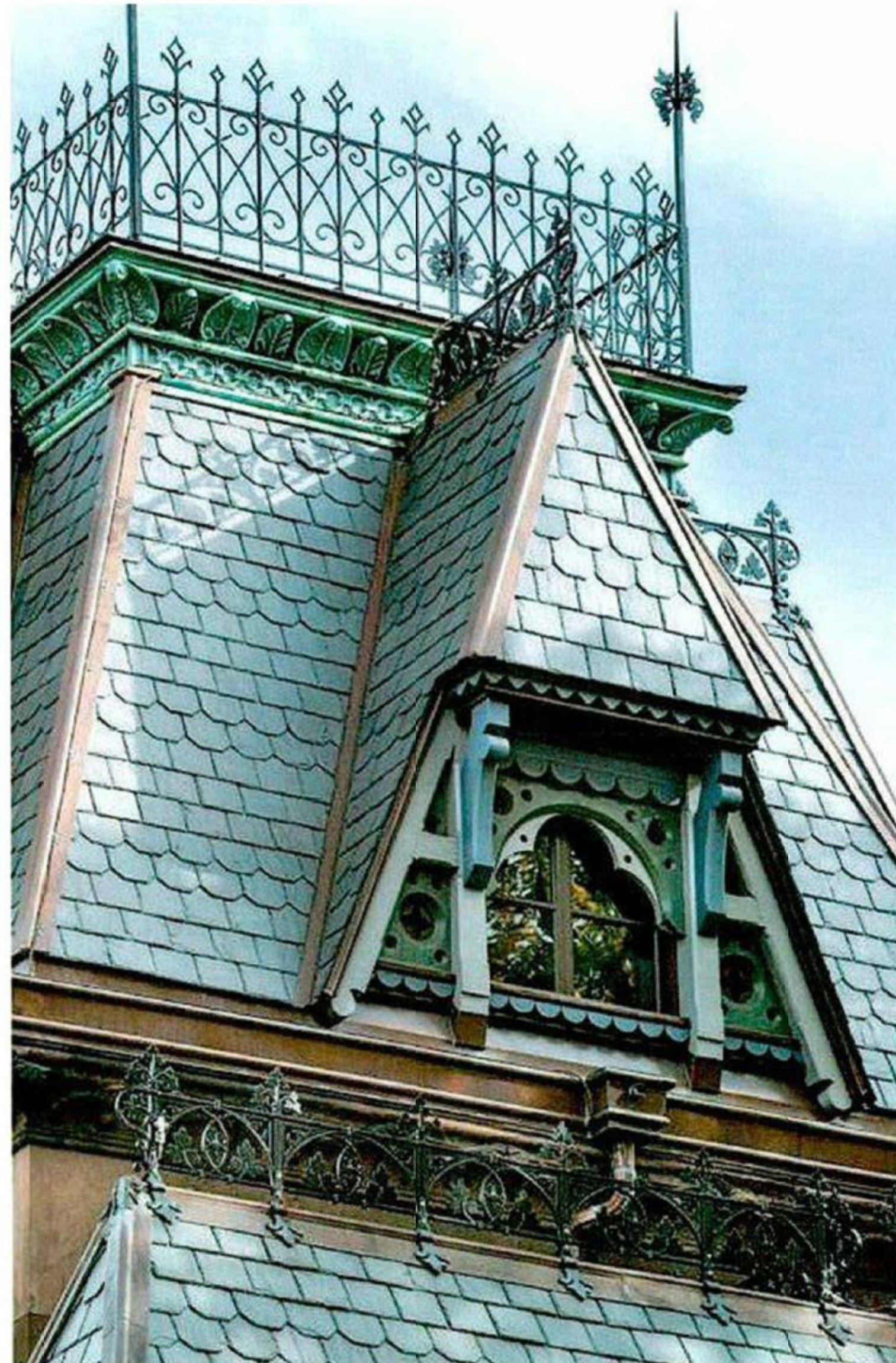
PATINA STANDING SEAM



LIGHT COLORED MASONRY



EXAMPLE: 'SECOND EMPIRE' WITH NAVY BLUE SHIPLAP SIDING



EXAMPLE: 'SECOND EMPIRE' WITH GREEN SLATE MANSARD



EXAMPLE: 'SECOND EMPIRE' WITH LIGHT COLORED MASONRY

PROJECT NAME
**459 MAIN STREET
 REDEVELOPMENT**

PROJECT ADDRESS:
 459 MAIN STREET, READING,
 MA 01867

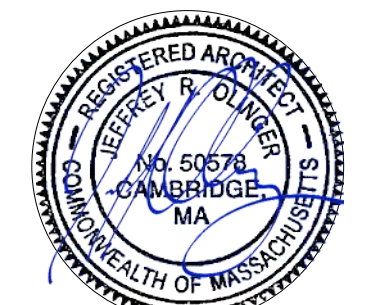
APPLICANT
 Giuseppe C. Fodera
 GC Fodera Contracting Company
 28 Harbor Street
 Danvers, MA 01923

ARCHITECT
Olinger Architects

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ZONING REVIEW

Project number 2122
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REVISIONS

No.	Description	Date
1	ZONING UPDATE	01/18/2022

PROJECT MATERIALS BOARD

G006
 459 MAIN STREET

PROJECT NAME
**459 MAIN STREET
 REDEVELOPMENT**

PROJECT ADDRESS:
 459 MAIN STREET, READING,
 MA 01867

APPLICANT
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 Danvers, MA 01923
 Office: (617) 992-8492



1 G007_CONTEXT ELEVATION _ WEST
 1" = 10'-0"



2 G007_CONTEXT ELEVATION _ EAST
 1" = 10'-0"



ZONING REVIEW

Project number	2122
Date	01/18/2022
Drawn by	Author
Checked by	Checker
Scale	1" = 10'-0"

REVISIONS

No.	Description	Date
1	ZONING UPDATE	01/18/2022

**CONTEXT
 ELEVATIONS**

G007
 459 MAIN STREET

REVISION	DATE	BY
REV-12 UNITS	2/1/22	GGF
DRIVE PATH REV.	4/6/22	GGF
ENG. COMMENTS	6/1/22	GGF
CPDC REVISION	9/7/22	GGF

PROJECT LOCATION:
 459 MAIN STREET
 READING, MA 01867
 PARCEL ID:
 MAP 17, PARCEL 62

PLAN SET:
PROPOSED 40R DEVELOPMENT
 459 MAIN STREET
 READING, MA 01867

PROFESSIONAL SEAL:
 COMMONWEALTH OF MASSACHUSETTS
 GIOVANNI GAETANO FODERA
 No. 54884
 REGISTERED PROFESSIONAL ENGINEER

JOB NO.: 21228-238
 SHEET TITLE:
PROPOSED SITE PLAN

SHEET NUMBER:
C-2

SITE AND GRADING NOTES

- ALL WALKWAYS SHALL CONSIST OF CONCRETE.
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE MUNICIPALITY'S LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
- WORK WITHIN ROUTE 28 SHALL REQUIRE SEPARATE PERMITTING FROM MASSDOT.
- THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS AND STAKES.
- ALL INDICATED ELEVATIONS ARE FINISHED ELEVATIONS.
- IF AREAS ARE DISTURBED BEYOND PROPOSED GRADES BY NEGLIGENCE OF THE CONTRACTOR, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY REGRADING OR REPAIR TO MATCH ORIGINAL EXISTING CONDITIONS.
- CONTRACTOR SHALL ADJUST GRADES BY VARYING THE PAVEMENT SECTIONS ACCORDINGLY. EXISTING COMPACTED SUBGRADE TO BE DISTURBED AS LITTLE AS POSSIBLE.
- ALL PROPOSED SPOT ELEVATIONS SHOWN INDICATE FINISHED GRADED ELEVATIONS AT EDGE OF PAVEMENT AND/OR GRADE BREAKS, UNLESS OTHERWISE NOTED.
- MAINTAIN PROPER SITE DRAINAGE AT ALL TIMES DURING THE COURSE OF CONSTRUCTION, AND PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.
- SPREAD AND COMPACT UNIFORMITY TO THE DEGREE SPECIFIED ALL EXCESS TRENCH SPOIL AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS (EARTHWORK CONTRACTOR SHALL MAKE APPROPRIATE ADJUSTMENTS IN ROUGH GRADING TO ACCOMMODATE TRENCH SPOIL).
- PROVIDE WATER TO ADD TO DRY MATERIAL IN ORDER TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION.
- REMOVE ALL UNSUITABLE MATERIAL AND REPLACE WITH SUITABLE STRUCTURAL FILL.
- REPAIR ANY BASE COURSE AND BINDER COURSE FAILURES PRIOR TO THE INSTALLATION OF THE FINAL BITUMINOUS CONCRETE SURFACE COURSE.
- SWEEP CLEAN THE BINDER COURSE PRIOR TO THE INSTALLATION OF THE FINAL BITUMINOUS CONCRETE SURFACE COURSE. EXCESSIVE CLEANING OF THE BINDER COURSE THAT MAY BE REQUIRED, AND IS NOT THE FAULT OF THE PAVING CONTRACTOR, SHALL BE PAID FOR ON A TIME AND MATERIAL BASIS BY PRIOR AGREEMENT WITH THE GENERAL CONTRACTOR.
- A GEOTEXTILE MATTING (LANDLOCK TRM 450 OR EQUIVALENT) SHALL BE USED FOR EROSION CONTROL AND ALL SLOPES GREATER THAN 3H:1V IF NECESSARY.
- IF THE CONTRACTOR IN THE COURSE OF WORK FINDS ANY DISCREPANCIES BETWEEN THE PLANS AND THE PHYSICAL CONDITIONS OF THE LOCALITY, OR ANY ERRORS OR OMISSIONS IN THE PLANS OR IN THE LAYOUT AS GIVEN BY THE ENGINEER, IT SHALL BE HIS DUTY TO IMMEDIATELY INFORM THE ENGINEER, IN WRITING AND THE ENGINEER WILL PROMPTLY VERIFY THE SAME. ANY WORK DONE AFTER SUCH A DISCOVERY, UNTIL AUTHORIZED, WILL BE AT THE CONTRACTOR'S RISK.

PARKING SUMMARY

REQUIRED 1.25 SPOT PER DWELLING UNIT = 12 UNITS x 1.25 = 15 SPACES

	REQUIRED	PROPOSED	RELIEF REQUIRED
PARKING	15	*20	N

* INCLUDES TWO (2) ADA PARKING SPOTS.

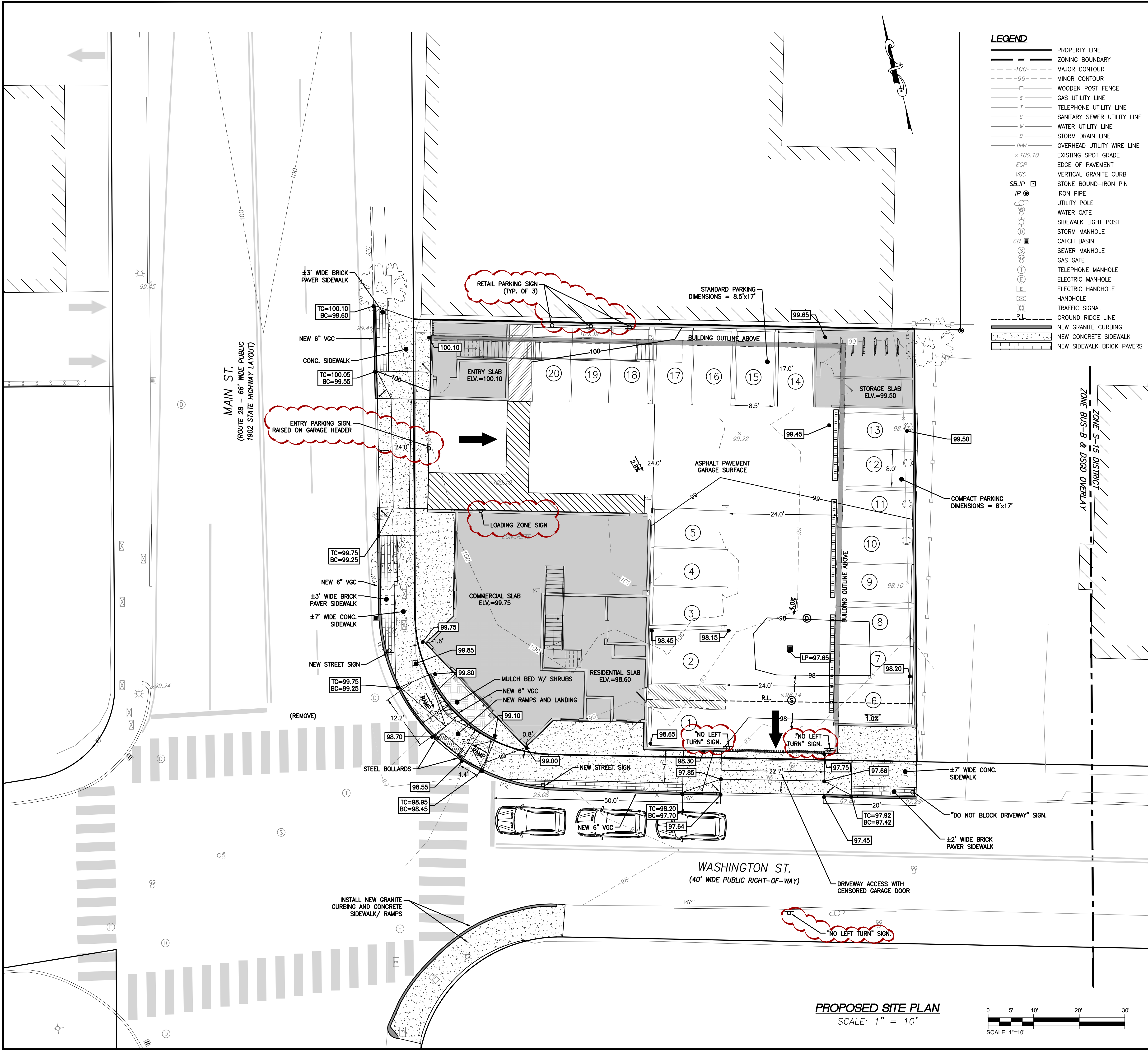
ZONING SUMMARY

DOWNTOWN SMART GROWTH DISTRICT (DSGD)

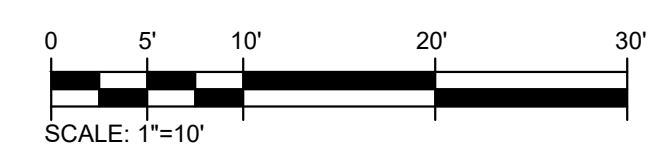
	REQUIRED	PROVIDED	RELIEF REQUIRED
MAX FLOOR AREA RATIO (SF)	2.8 (28,716±)	(0)	N
MIN. LOT FRONTAGE	50'	192.57'	N
MAX LOT COVERAGE	N/A	91%	N
MIN LOT AREA	N/A	10,256 S.F.	N
NUMBER OF BUILDINGS PER LOT	N/A	1	N
MAXIMUM BUILDING FRONTAGE	300'	±190'	N
FRONT SETBACK (MIN./MAX)	0'/10'	0.8'	N
MIN. SIDE SETBACK	0'	0'	N
MIN. REAR SETBACK	0'	N/A	N
INTERIOR SETBACK BETWEEN BUILDINGS ON SAME LOT	15'	N/A	N
DWELLING UNIT DENSITY PER ACRE	20	51	Y

(1) REFER TO ARCHITECTURAL PLANS.

- LEGEND**
- PROPERTY LINE
 - ZONING BOUNDARY
 - 100- MAJOR CONTOUR
 - 99- MINOR CONTOUR
 - WOODEN POST FENCE
 - G GAS UTILITY LINE
 - T TELEPHONE UTILITY LINE
 - S SANITARY SEWER UTILITY LINE
 - W WATER UTILITY LINE
 - D STORM DRAIN LINE
 - DHW OVERHEAD UTILITY WIRE LINE
 - ×100.10 EXISTING SPOT GRADE
 - EDP EDGE OF PAVEMENT
 - VCC VERTICAL GRANITE CURB
 - SB,IP STONE BOUND-IRON PIN
 - IP IRON PIPE
 - UTILITY POLE
 - WATER GATE
 - SIDEWALK LIGHT POST
 - STORM MANHOLE
 - CATCH BASIN
 - SEWER MANHOLE
 - GAS GATE
 - TELEPHONE MANHOLE
 - ELECTRIC MANHOLE
 - ELECTRIC HANDHOLE
 - HANDHOLE
 - TRAFFIC SIGNAL
 - GROUND RIDGE LINE
 - NEW GRANITE CURBING
 - NEW CONCRETE SIDEWALK
 - NEW SIDEWALK BRICK PAVERS



PROPOSED SITE PLAN
 SCALE: 1" = 10'



NOTE:
1. SIGN SIZE SHALL BE 24"x24"

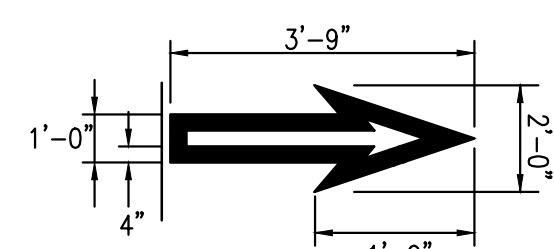
PARKING ENTRY SIGN
N.T.S.

NOTE:
1. TIME RESTRICTIONS FOR PARKING MAY VARY. SHALL BE COORDINATED WITH THE TOWN.

RETAIL PARKING SIGN
N.T.S.

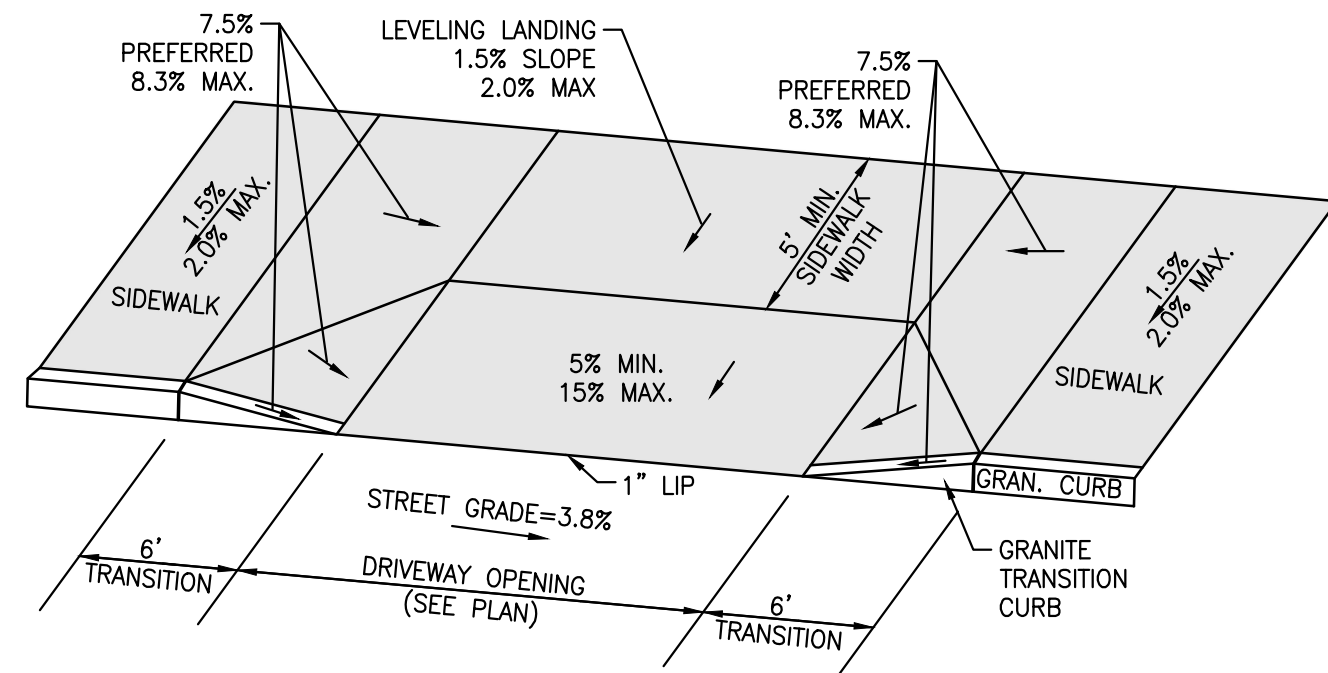
DECEMBER 1, 2021

SCALE: 1" = 10'

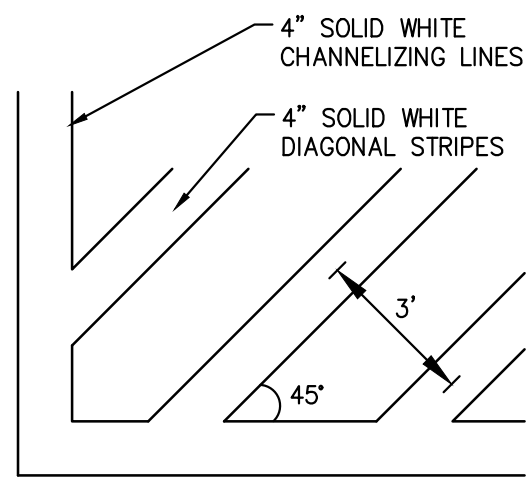


NOTES:
ALL TRAFFIC FLOW ARROWS TO BE REFLECTIVE 5 MIL. WHITE PAINT PER SPECS

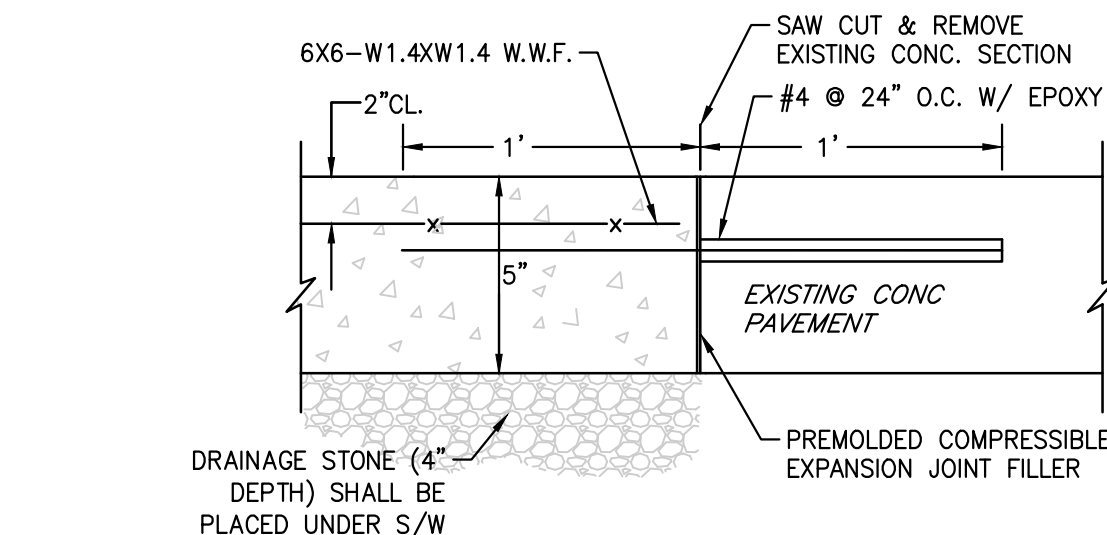
DIRECTIONAL ARROW DETAIL
N.T.S.



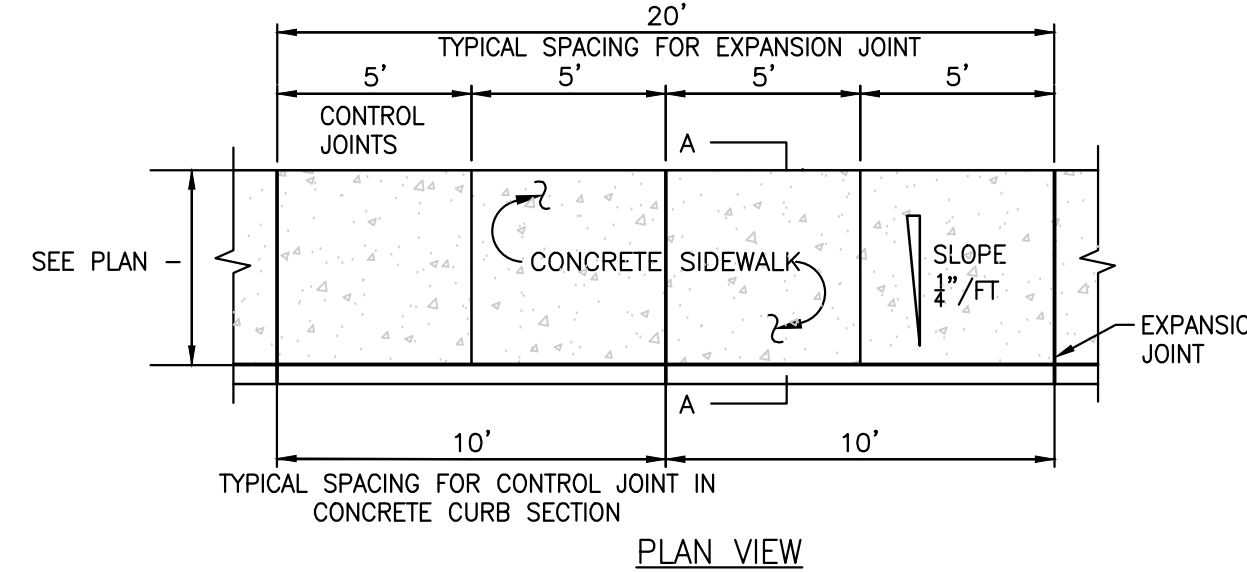
CONCRETE DRIVEWAY APRON
N.T.S.



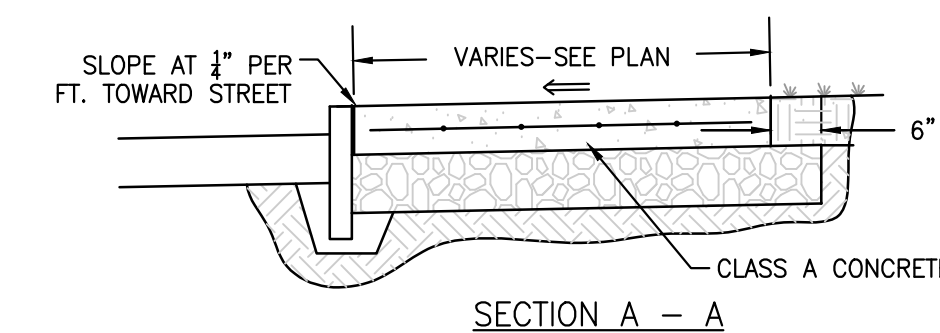
TYPICAL PAVEMENT PAINTING SECTION
N.T.S.



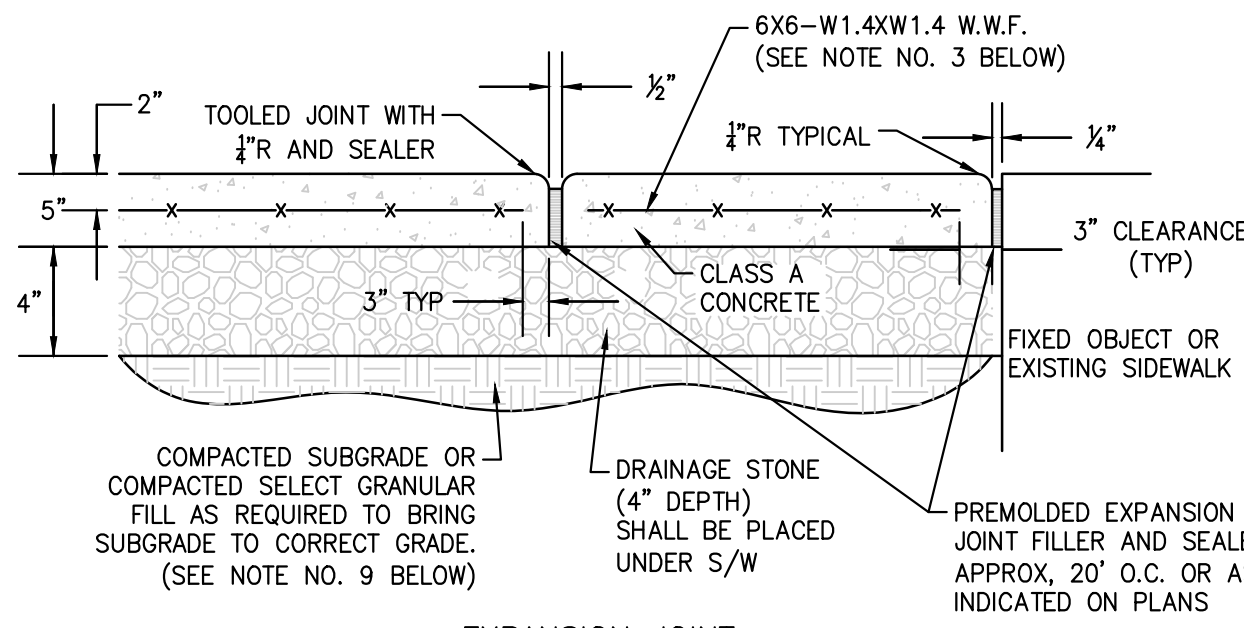
CONCRETE REMOVAL AND REPLACEMENT
N.T.S.



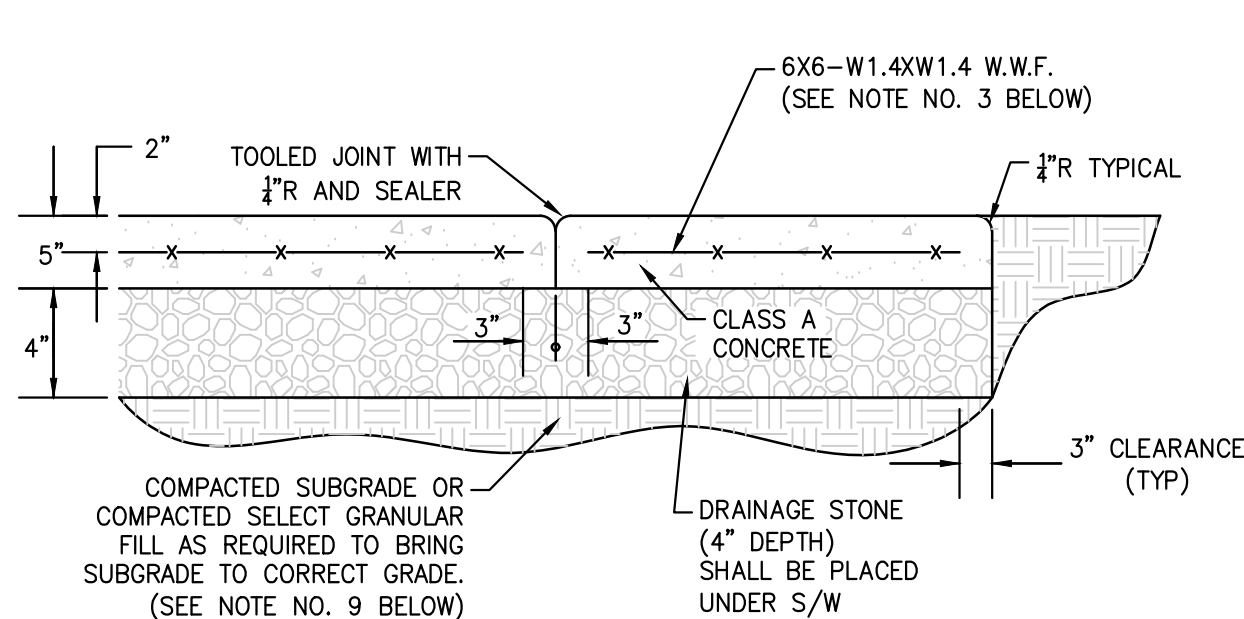
NOTES:
1. 10' SPACING OF CONTROL JOINTS SHALL BE USED FOR CAST IN PLACE CONCRETE CURBS.



SECTION A - A



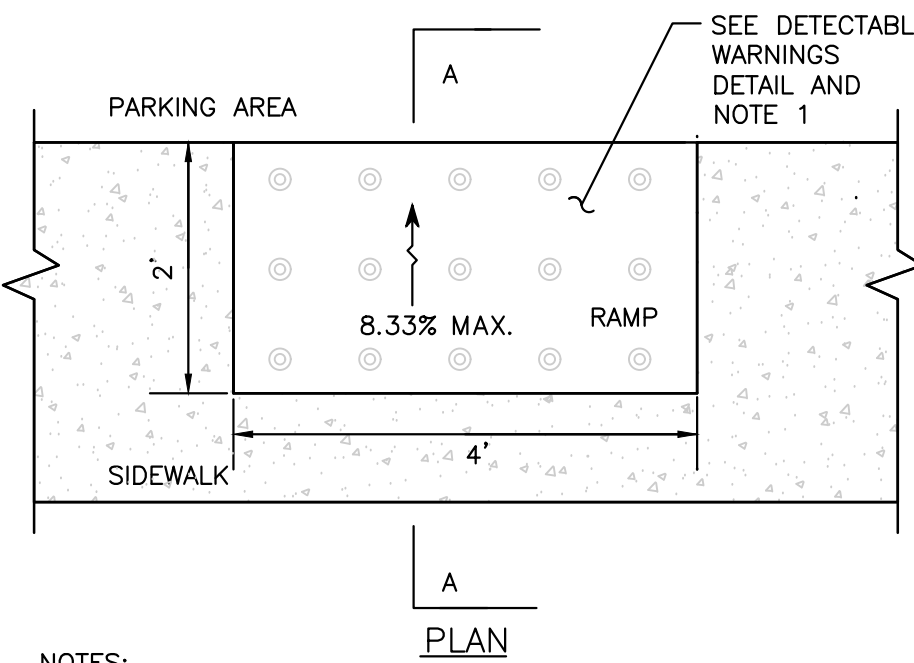
EXPANSION JOINT



CONSTRUCTION JOINT

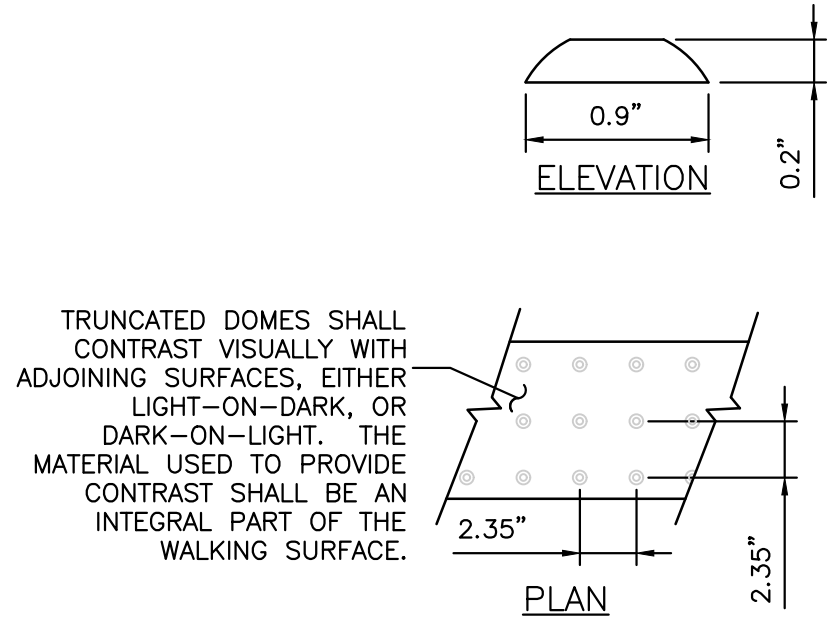
- NOTES:
- MATERIAL AND METHODS OF CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE STATE DEPARTMENT OF TRANSPORTATION.
 - ALL CONCRETE SHALL BE 3,000 PSI CLASS A CONCRETE. CONCRETE MATERIALS, PLACEMENT, AND CONSTRUCTION SHALL CONFORM STATE DOT STANDARD SPECIFICATIONS.
 - REINFORCING STEEL FOR CONCRETE SHALL CONFORM WITH THE ABOVE REFERENCED STATE DOT STANDARD SPECIFICATIONS AND AS SPECIFICALLY CALLED OUT IN THE DRAWINGS.
 - ALL EXPOSED SURFACES SHALL HAVE A BROOM TEXTURED FINISH.
 - EXPANSION JOINTS SHALL BE LOCATED A MAXIMUM OF 20'-0" ON CENTER, OR AS INDICATED ON PLANS.
 - JOINTS SHALL NOT BE SAW CUT.
 - EXPOSED CONCRETE SURFACES SHALL BE TREATED WITH "SUREBOND"/"SAFE BOND" SB-7000 INTENSIFIER BRIGHT PROTECTOR AND SIDEWALK SEALER, OR EQUAL. RATE AND METHOD OF APPLICATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 - SUBBASE MATERIAL SHALL CONFORM WITH STATE DOT STANDARD.
 - WHERE IT IS NECESSARY TO PLACE FILL FOR PURPOSE OF BRINGING THE SUBGRADE ELEVATION UP TO A SPECIFIED GRADE, THE FILL MATERIAL PLACED SHALL BE IN CONFORMANCE WITH STATE DOT STANDARD SPECIFICATIONS.
 - CURB SHALL BE REVEALED BY 6 INCHES ABOVE GRADE UNLESS OTHERWISE NOTED ON THE PLAN.

SIDEWALK DETAIL
N.T.S.



NOTES:
1. THE SURFACE OF RAMP SHALL HAVE DETECTABLE WARNINGS. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES. SURFACE SHALL DIFFER FROM ADJOINING WALKING SURFACES IN RESILIENCY OR SOUND-ON-CANE CONTACT. SEE DETECTABLE WARNINGS DETAIL.
2. CONSTRUCT PER A.D.A. STANDARDS.

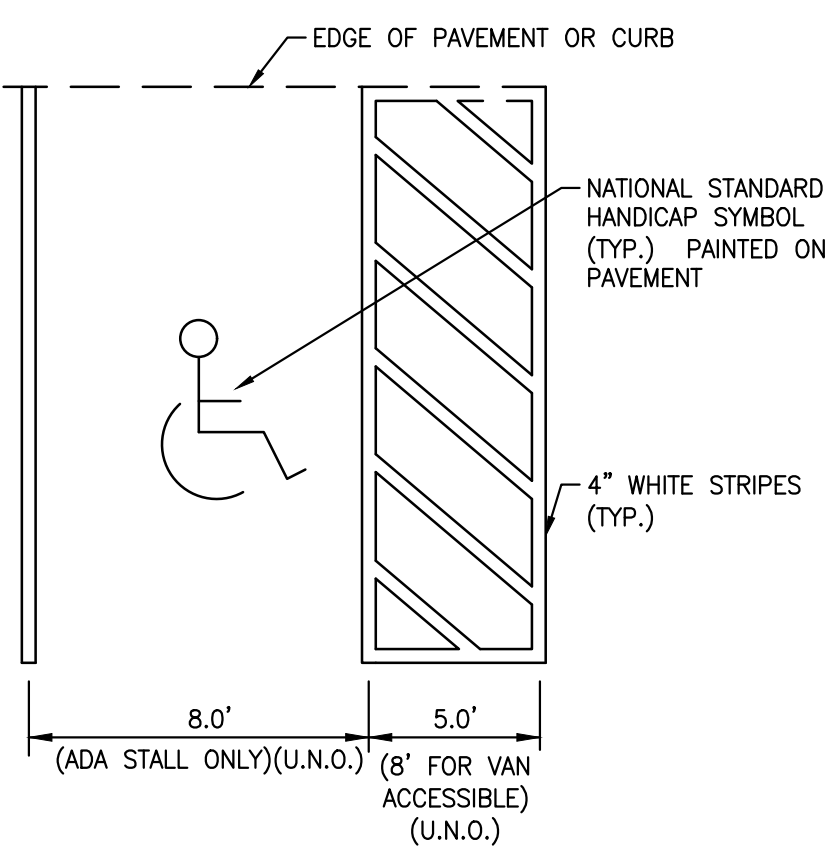
ADA WARNING STRIP DETAIL
N.T.S.



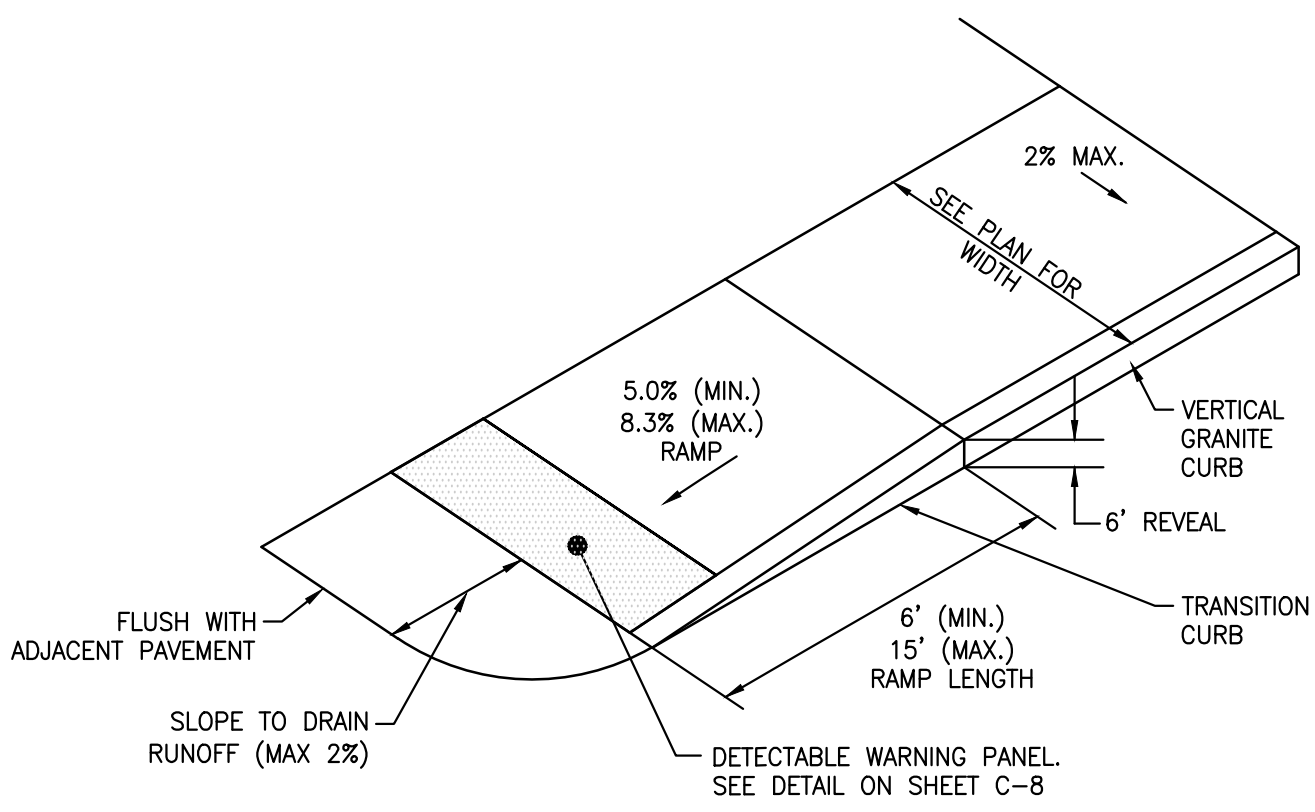
TRUNCATED DOMES SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT-ON-DARK, OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OF THE WALKING SURFACE.

* PER A.D.A. ACCESSIBILITY GUIDELINES SECTION 4.29.2 & A4.29.2

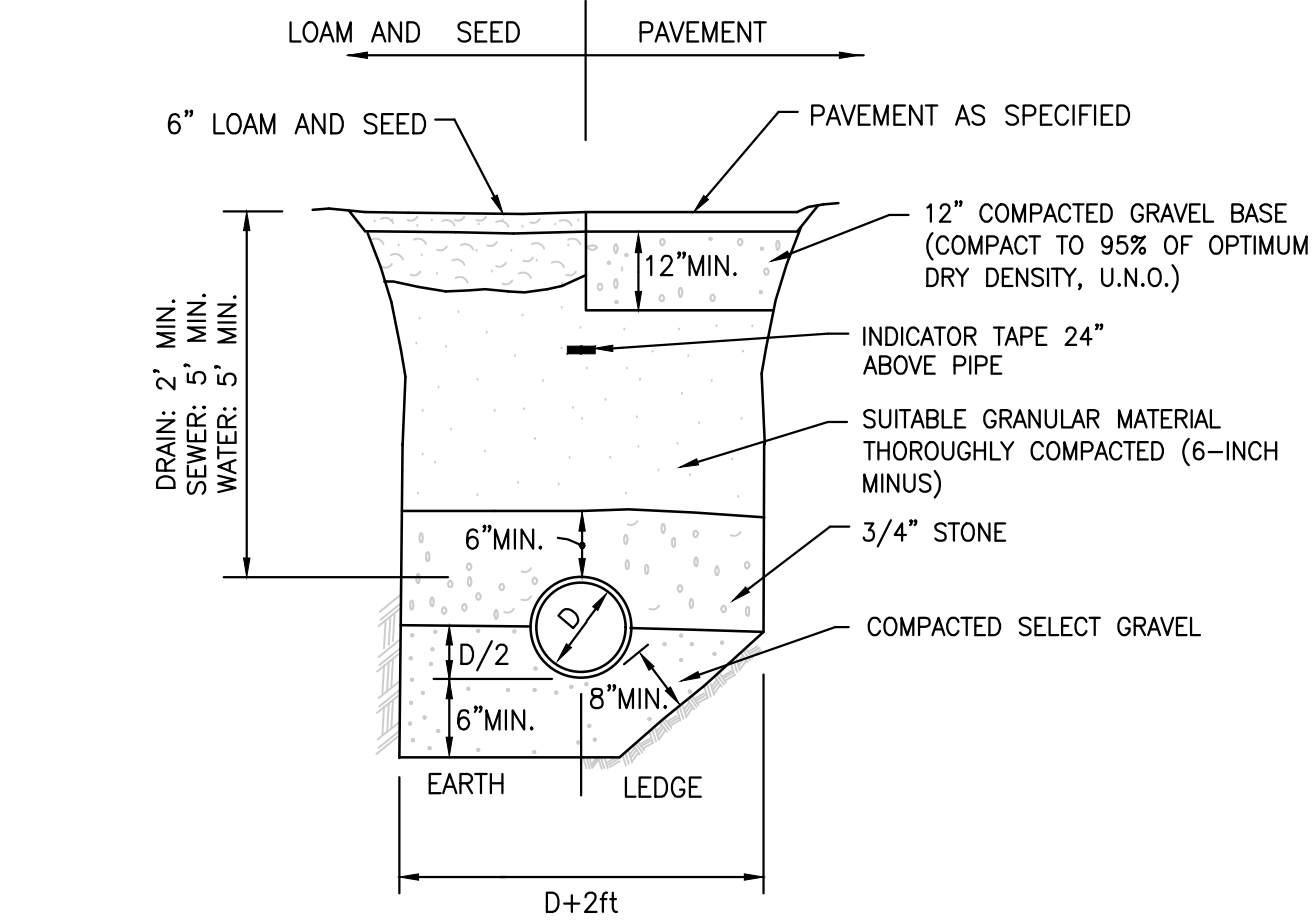
DETECTABLE WARNINGS DETAIL



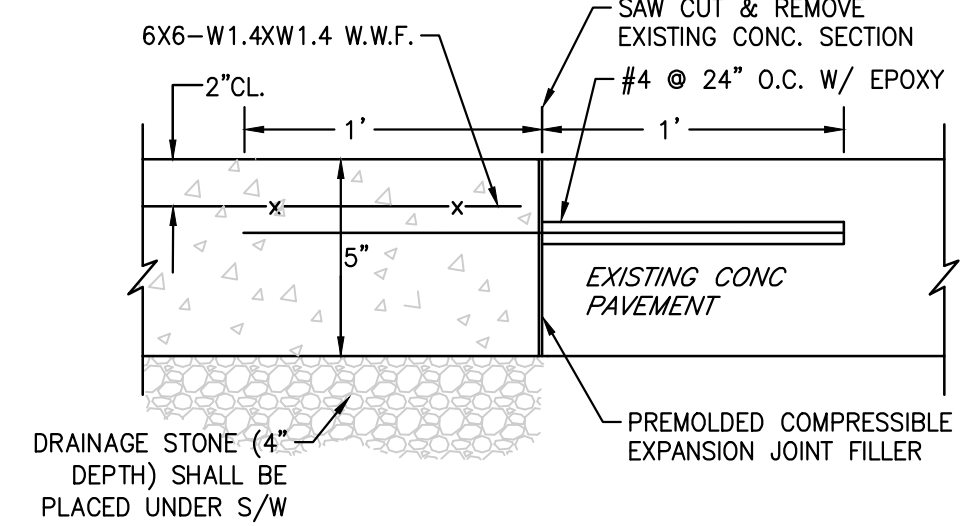
ADA PARKING STALL
N.T.S.



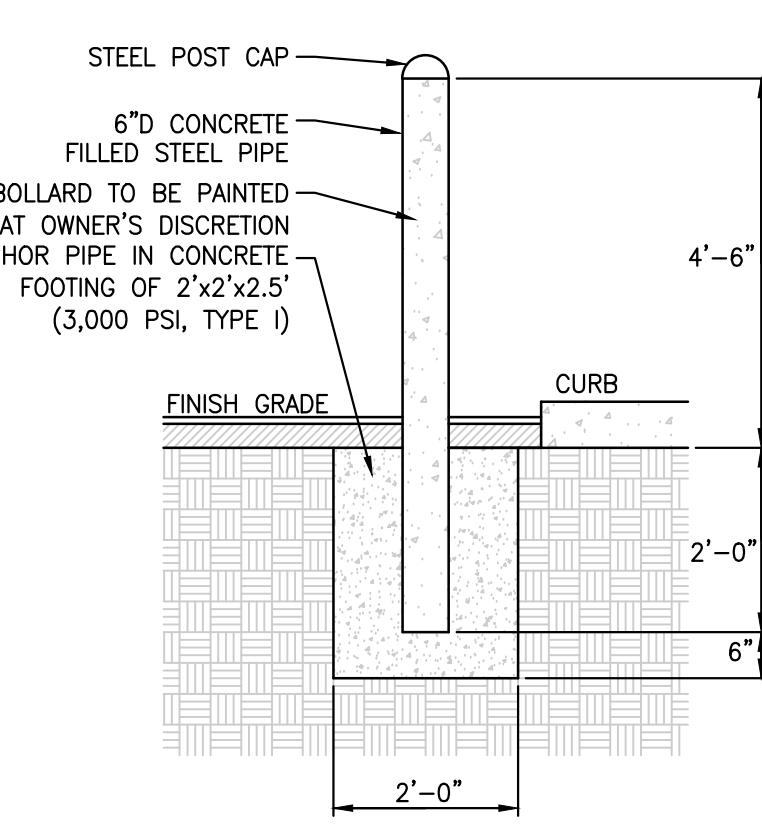
ADA ACCESSIBLE SIDEWALK RAMP
N.T.S.



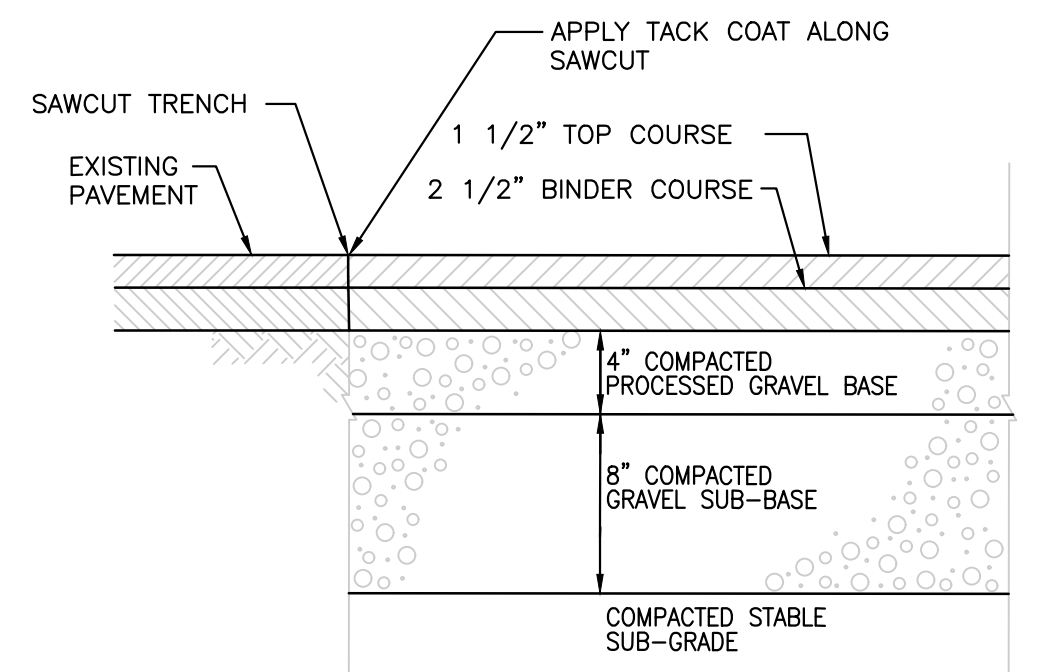
DRAIN/ SEWER/ WATER TRENCH AND BACKFILL DETAIL
N.T.S.



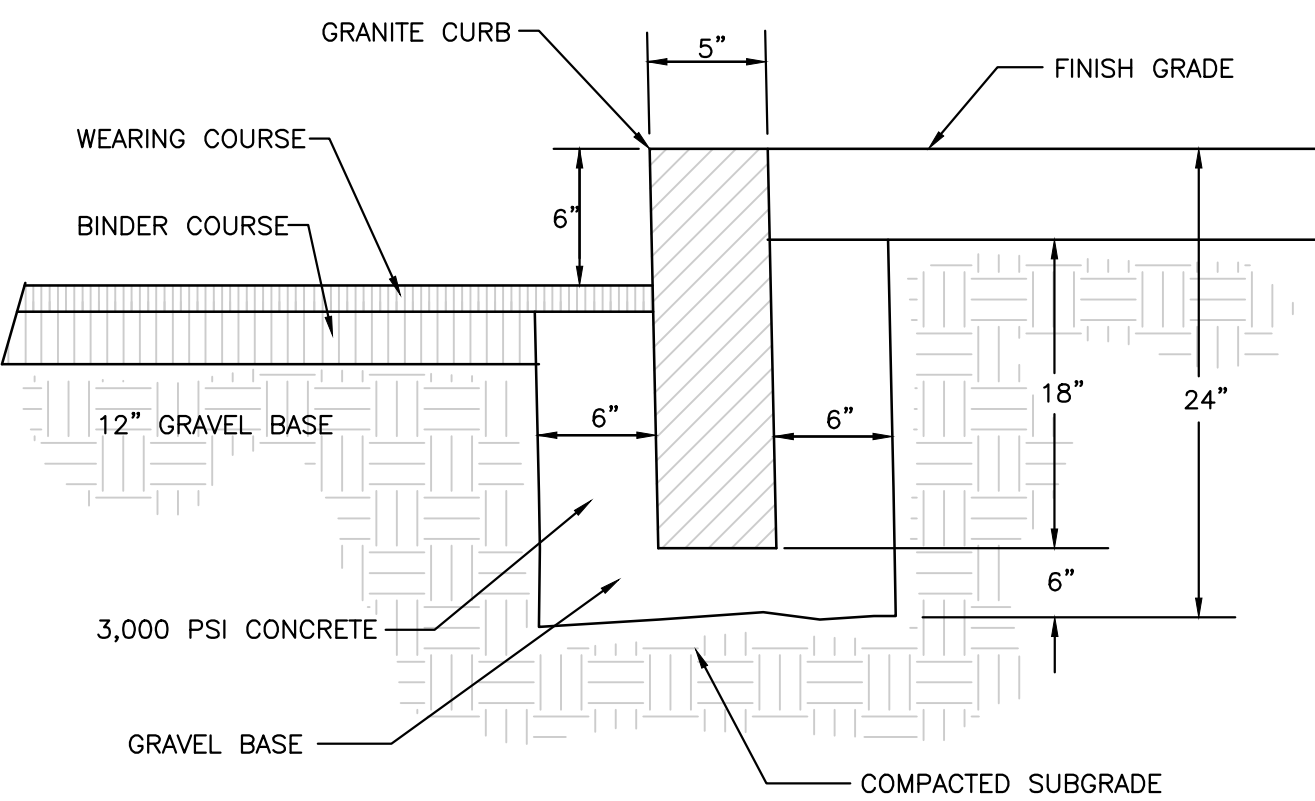
CONCRETE REMOVAL AND REPLACEMENT
N.T.S.



STEEL PIPE BOLLARD
N.T.S.



TYPICAL BITUMINOUS PAVEMENT SECTION
N.T.S.



VERTICAL GRANITE CURB
N.T.S.

PREPARED BY:
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REVISION	DATE	BY
REV-12 UNITS	2/1/22	GGF
DRIVE PATH REV.	4/6/22	GGF
ENG. COMMENTS	6/1/22	GGF
CPDC REVISION	9/7/22	GGF

PROJECT LOCATION:
459 MAIN STREET
READING, MA 01867
PARCEL ID:
MAP 17, PARCEL 62

PLAN SET:
PROPOSED 40R DEVELOPMENT
459 MAIN STREET
READING, MA 01867

PROFESSIONAL SEAL:
COMMONWEALTH OF MASSACHUSETTS
GIOVANNI GAETANO FODERA
No. 54884
REGISTERED PROFESSIONAL ENGINEER

JOB NO.: 21228-238
SHEET TITLE:
DETAILS SHEET

SHEET NUMBER:
C-4

DECEMBER 1, 2021

SCALE: N.T.S.

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REV-12 UNITS	2/1/22	GGF
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 C-4

SPECIFICATION CLAUSE
S300K POWERDRAIN - LOAD CLASS A

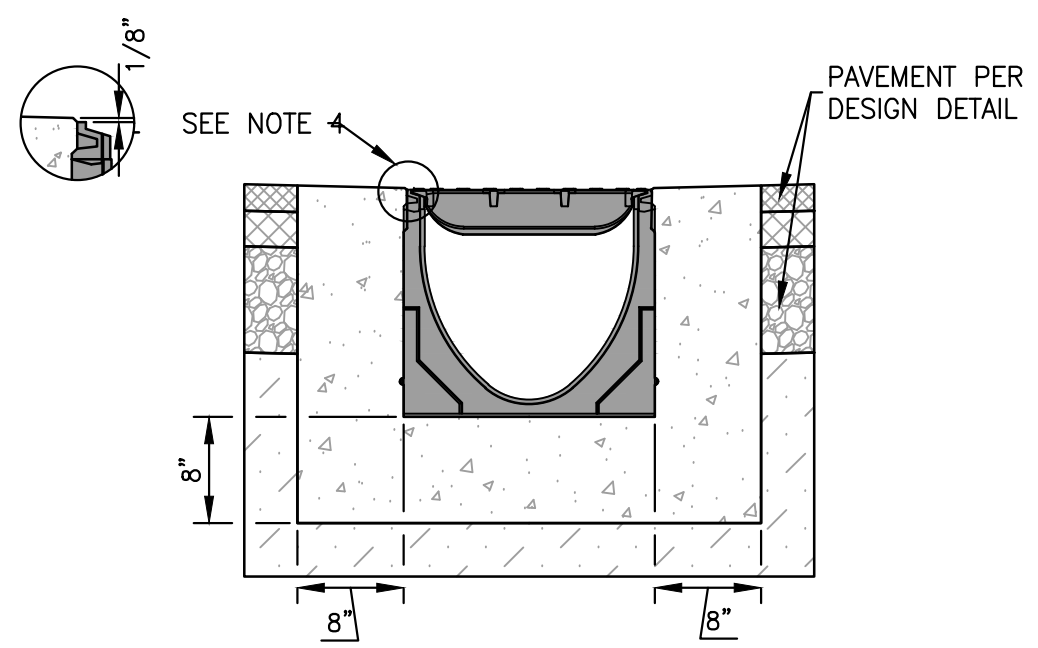
GENERAL
 THE SURFACE DRAINAGE SYSTEM SHALL BE POLYMER CONCRETE S300K CHANNEL SYSTEM WITH DUCTILE IRON EDGE RAILS AS MANUFACTURED BY ACO POLYMER PRODUCTS, INC.

MATERIALS
 CHANNELS SHALL BE MANUFACTURED FROM POLYESTER RESIN POLYMER CONCRETE WITH AN INTEGRALLY CAST-IN DUCTILE IRON EDGE RAIL. MINIMUM PROPERTIES OF POLYMER CONCRETE WILL BE AS FOLLOWS:
 COMPRESSIVE STRENGTH: 14,000 PSI
 FLEXURAL STRENGTH: 4,000 PSI
 TENSILE STRENGTH: 1,500 PSI
 WATER ABSORPTION: 0.07%
 FROST PROOF: YES
 DILUTE ACID AND ALKALI RESISTANT: YES
 B117 SALT SPRAY TEST COMPLIANT: YES

THE SYSTEM SHALL BE 12" (300mm) NOMINAL INTERNAL WIDTH WITH A 14.2" (390mm) OVERALL WIDTH AND A BUILT-IN SLOPE OF 0.5%. CHANNEL INVERT SHALL HAVE DEVELOPED "V" SHAPE. ALL CHANNELS SHALL BE INTERLOCKING WITH A MALE/FEMALE JOINT.

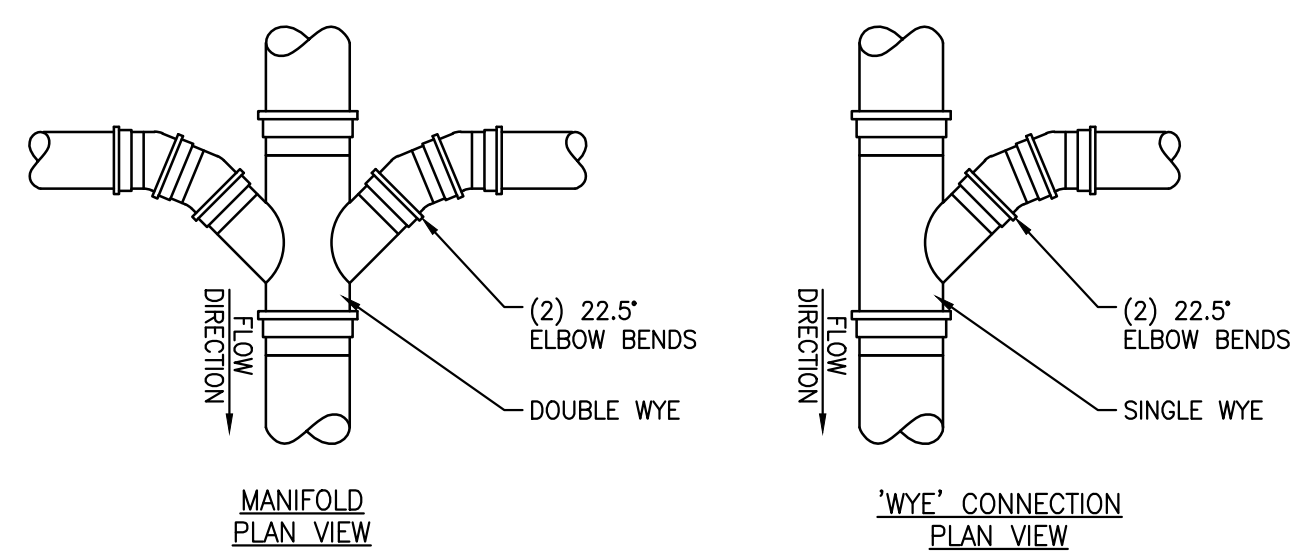
THE COMPLETE DRAINAGE SYSTEM SHALL BE BY ACO POLYMER PRODUCTS, INC. ANY DEVIATION OR PARTIAL SYSTEM DESIGN AND/OR IMPROPER INSTALLATION WILL VOID ANY AND ALL WARRANTIES PROVIDED BY ACO POLYMER PRODUCTS, INC.

CHANNEL SHALL WITHSTAND LOADING TO PROPER LOAD CLASS AS OUTLINED BY EN 1433. GRATE TYPE SHALL BE APPROPRIATE TO MEET THE SYSTEM LOAD CLASS SPECIFIED AND INTENDED APPLICATION. GRATES SHALL BE SECURED USING "POWERLOK" BOLTLESS LOCKING SYSTEM. CHANNEL AND GRATE SHALL BE CERTIFIED TO MEET THE SPECIFIED EN 1433 LOAD CLASS. THE SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

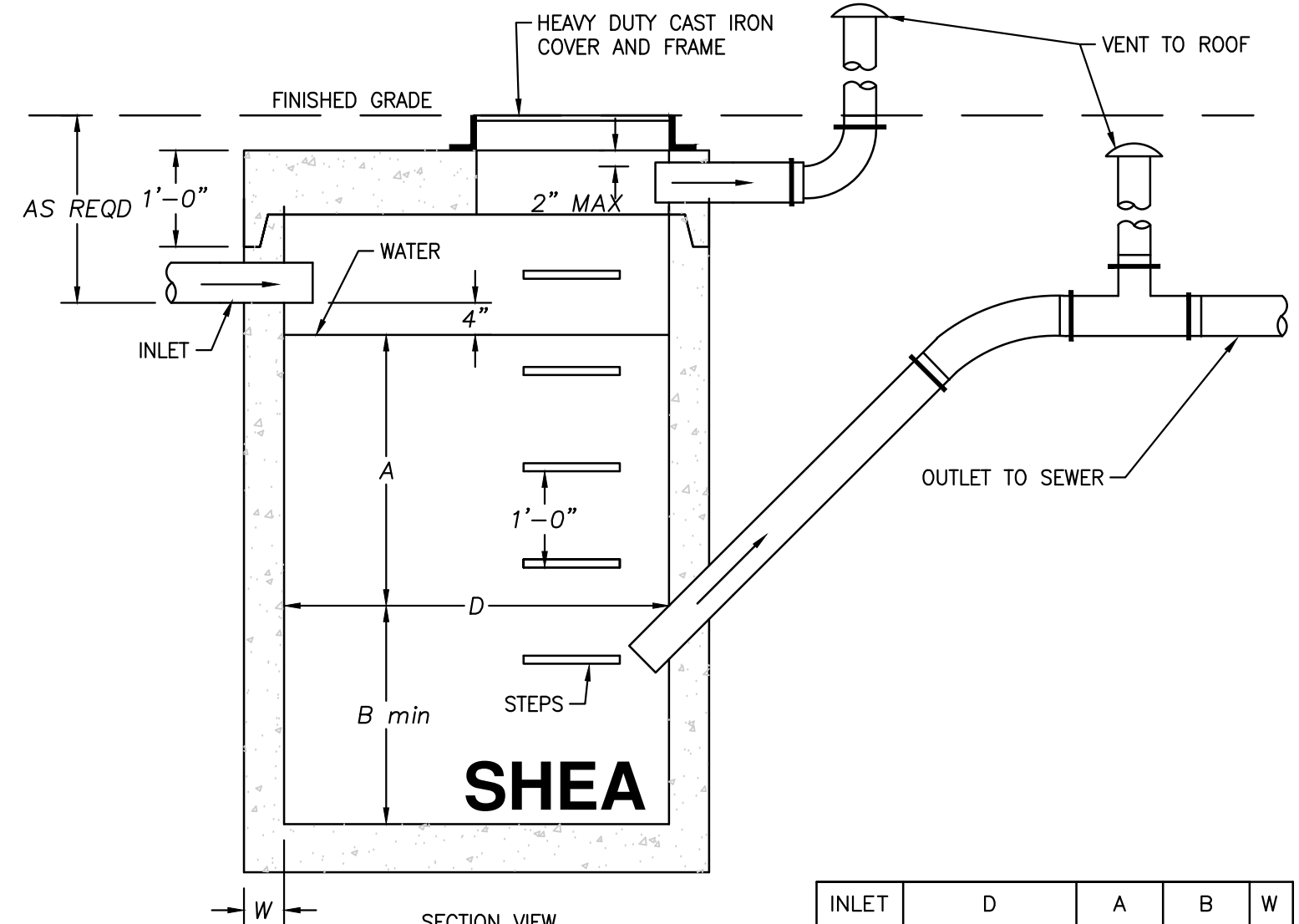


- NOTES:**
- IT IS NECESSARY TO ENSURE MINIMUM DIMENSIONS SHOWN ARE SUITABLE FOR EXISTING GROUND CONDITIONS. ENGINEERING ADVICE MAY BE REQUIRED.
 - MINIMUM CONCRETE STRENGTH OF 4,000 PSI IS RECOMMENDED. CONCRETE SHOULD BE VIBRATED TO ELIMINATE AIR POCKETS.
 - EXPANSION AND CONTRACTION CONTROL JOINTS AND REINFORCEMENT ARE RECOMMENDED TO PROTECT CHANNEL AND CONCRETE SURROUND. ENGINEERING ADVICE MAY BE REQUIRED.
 - THE FINISHED LEVEL OF THE CONCRETE SURROUND MUST BE APPROX. 1/8" [3mm] ABOVE THE TOP OF THE CHANNEL EDGE.
 - CONCRETE BASE THICKNESS SHOULD MATCH SLAB THICKNESS. ENGINEERING ADVICE MAY BE REQUIRED TO DETERMINE PROPER LOAD CLASS.
 - REFER TO ACO'S LATEST INSTALLATION INSTRUCTIONS FOR FURTHER DETAILS.

S300K POWERDRAIN TRENCH DRAIN
 N.T.S.



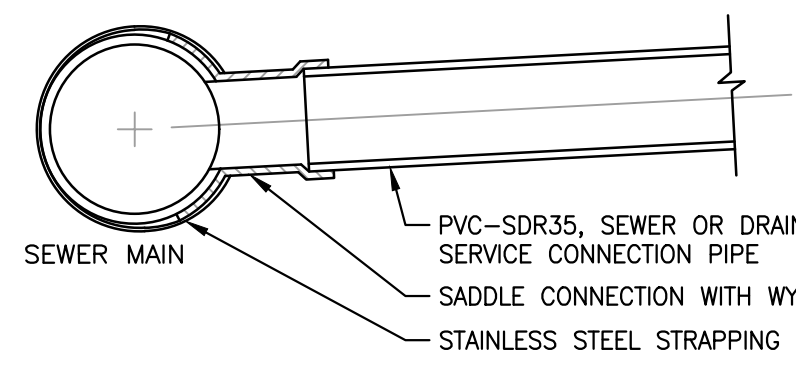
MANIFOLD AND WYE CONNECTIONS
 N.T.S.



- NOTES:**
- CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 - MANHOLE DESIGN SPECIFICATIONS CONFORM TO LATEST ASTM C478 SPEC FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."
 - BUTYL RESIN SECTION JOINT CONFORMS TO LATEST ASTM C443 SPEC.
 - STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC STEP CONFORMS TO LATEST ASTM C478 SPEC.
 - PIPE NOT SUPPLIED.
 - CONE SECTION AVAILABLE IN 4'-0" I.D. ONLY.
 - FOR INLETS LARGER THAN 10" THE DESIGN AND DIMENSION WILL BE DETERMINED FOR EACH PARTICULAR CASE.

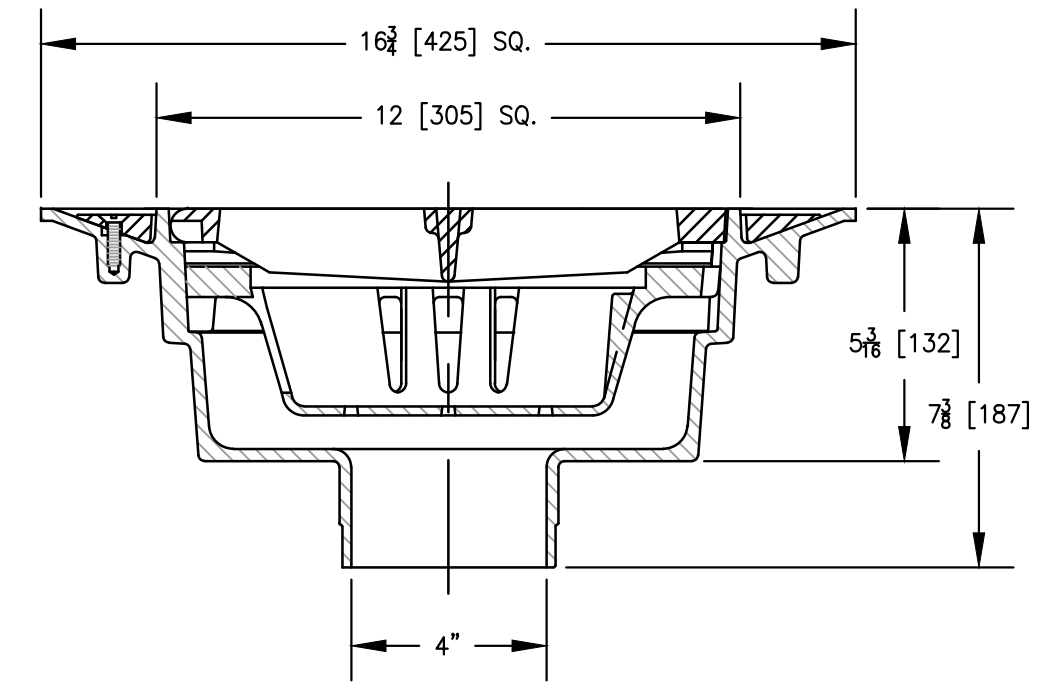
OIL AND GREASE SEPARATOR
 N.T.S.

INLET	D	A	B	W
4"	4'-0"	3'-0"	2'-6"	5'
5"	4'-0"	3'-6"	3'-0"	6'
6"	4'-0" x 4'-0"	3'-0"	2'-6"	6'
6"	4'-0"	5'-0"	4'-6"	5'
6"	4'-0" x 4'-0"	4'-0"	3'-6"	6'
6"	5'-0"	3'-6"	3'-0"	6'
8"	5'-0"	6'-0"	5'-0"	6'
8"	5'-0"	4'-0"	3'-6"	9'
8"	8'-0"	3'-0"	2'-6"	9'
10"	6'-0"	6'-6"	5'-6"	7'
10"	8'-0"	5'-0"	4'-0"	9'



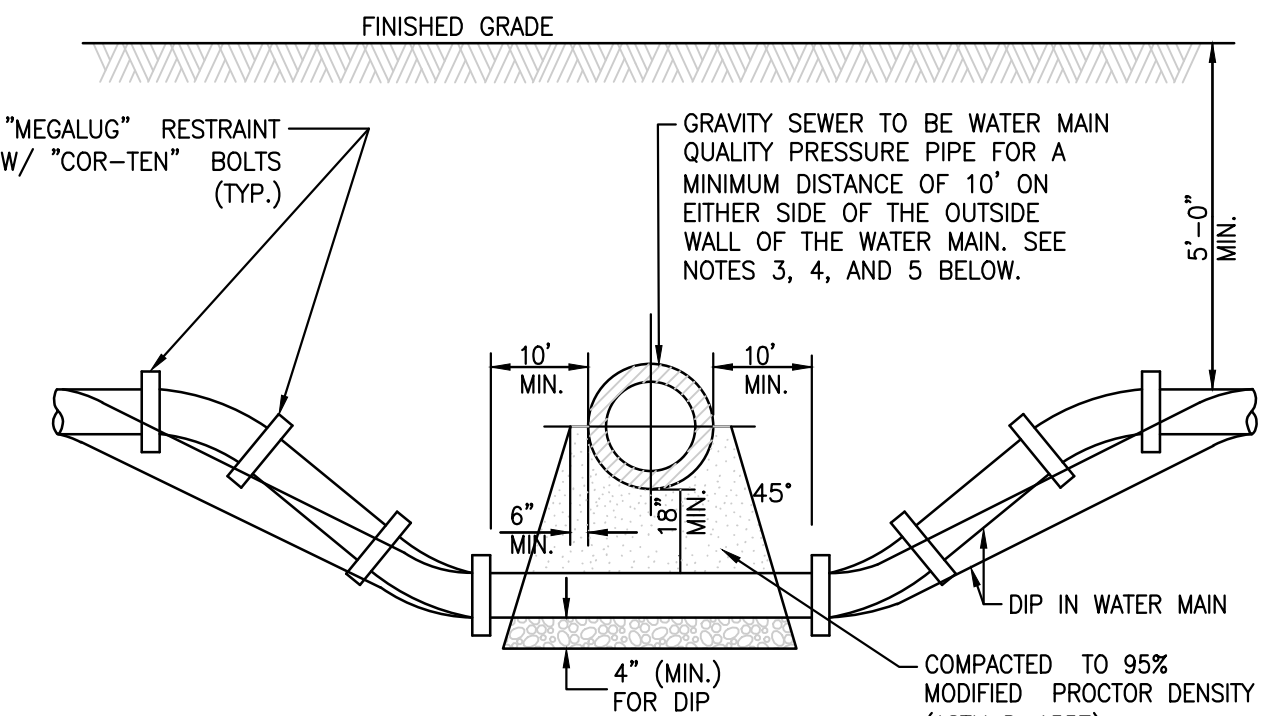
- NOTES:**
- FULL PVC OR IRON SADDLE MAY BE USED TO CONNECT TO EXISTING PVC, CLAY, CONCRETE, OR IRON PIPE. SADDLES MUST HAVE RUBBER GASKETS AND SHALL BE TIGHTENED WITH STRAPS. SADDLES SHALL NOT BE CEMENTED ONTO PIPE.
 - FULL NEW WYE CONNECTION FITTINGS MAY BE SUBSTITUTED FOR SADDLE CONNECTIONS.
 - PIPE SHALL BE CUT TO CONFORM TO THE OPENING IN THE SADDLE.
 - NO CONNECTION TO EXISTING PIPE WITHOUT SADDLE OR FULL NEW WYE FITTING SHALL BE MADE.
 - SHALL BE INSTALLED WITH A DOWNWARD ANGLE AND IN THE WYE FLOW DIRECTION.

TYPICAL SADDLE CONNECTION
 N.T.S.



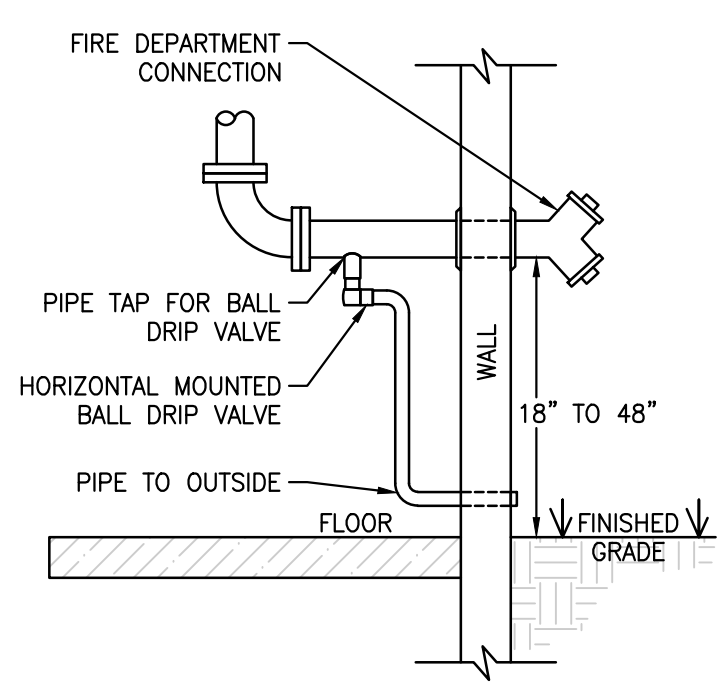
ZURN Z535 FLOOR DRAIN
 N.T.S.

- NOTES:**
- INSTALL PER MANUFACTURER'S SPECIFICATIONS.

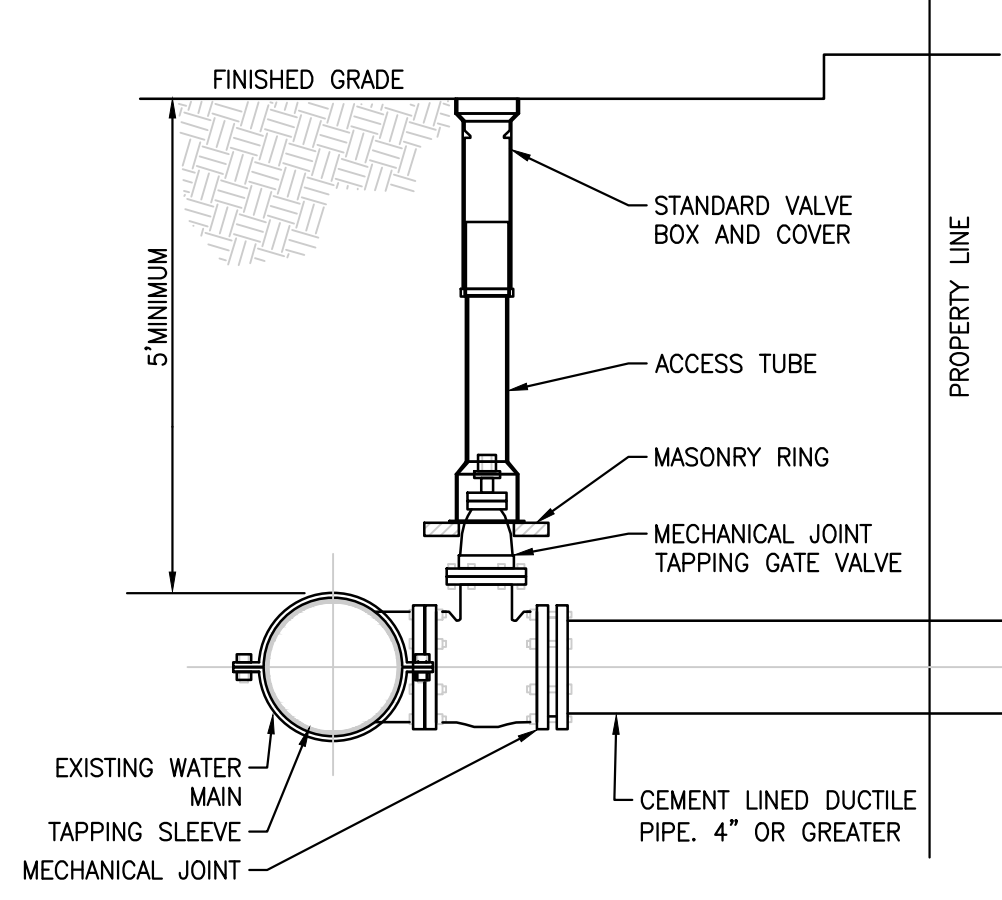


- NOTES:**
- HORIZONTAL AND VERTICAL SEPARATION BETWEEN WATERMANS AND SEWERS SHALL COMPLY WITH APPLICABLE SECTIONS OF LOCAL OR STATE REQUIREMENTS, WHICHEVER IS MORE STRINGENT.
 - CONTRACTOR MAY BEND WATER MAIN PIPE UNIFORMLY UNDER SEWERS WITHOUT USING FITTINGS, PROVIDED THAT JOINT DEFLECTION DOES NOT EXCEED 5 DEGREES PER JOINT FOR PIPE UNDER 14" IN DIAMETER AND 3 DEGREES PER JOINT FOR PIPE 14" AND OVER IN DIAMETER. IF FITTINGS ARE USED, CONTINUOUS STRAPPING WITH RODS, STRAPS, NUTS AND BOLTS BELOW NORMAL WATERMAIN DEPTH ARE REQUIRED, OR RETAINER GLANDS MAY BE USED IN LIEU OF STRAPPING. RETAINER GLANDS TO BE CLOW No. F-1058 OR APPROVED EQUAL.
 - ALL SANITARY SEWER (INCLUDING SERVICE) CROSSINGS WHERE THE WATER MAINS OR WATER SERVICES ARE LESS THAN 18" VERTICALLY ABOVE THE SEWER SHALL BE POLYVINYL CHLORIDE PRESSURE PIPE (SDR 26-160 PSI) AND SHALL CONFORM WITH THE LATEST REVISION OF ASTM D-2241. JOINTS SHALL CONFORM TO ASTM D-3139 AND ELASTOMERIC GASKETS SHALL CONFORM TO ASTM F-477. THE SAME PIPE AND JOINT MATERIALS SHALL BE USED WHENEVER WATER MAIN CROSSES BELOW THE SEWER.
 - ALL STORM SEWER (INCLUDING SERVICE) CROSSINGS WHERE THE WATER MAINS ARE LESS THAN 18" VERTICALLY ABOVE THE SEWER SHALL BE REINFORCED CONCRETE PIPE, ASTM C-361, CLASS D-25 WITH BELL AND SPIGOT JOINTS AND RUBBER GASKETS, OR PVC SDR 26 AS SPECIFIED IN NOTE 3 ABOVE. THE SAME PIPE AND JOINT MATERIAL SHALL BE USED WHENEVER WATER MAIN CROSSES BELOW THE SEWER.
 - FOR NEW SEWER INSTALLATIONS CROSSING OVER WATER MAINS, THE ENTIRE RUN OF NEW SEWER SHALL BE WATER MAIN QUALITY PIPE, EXTENDING FROM STRUCTURE TO STRUCTURE ON EACH SIDE OF THE CROSSING.

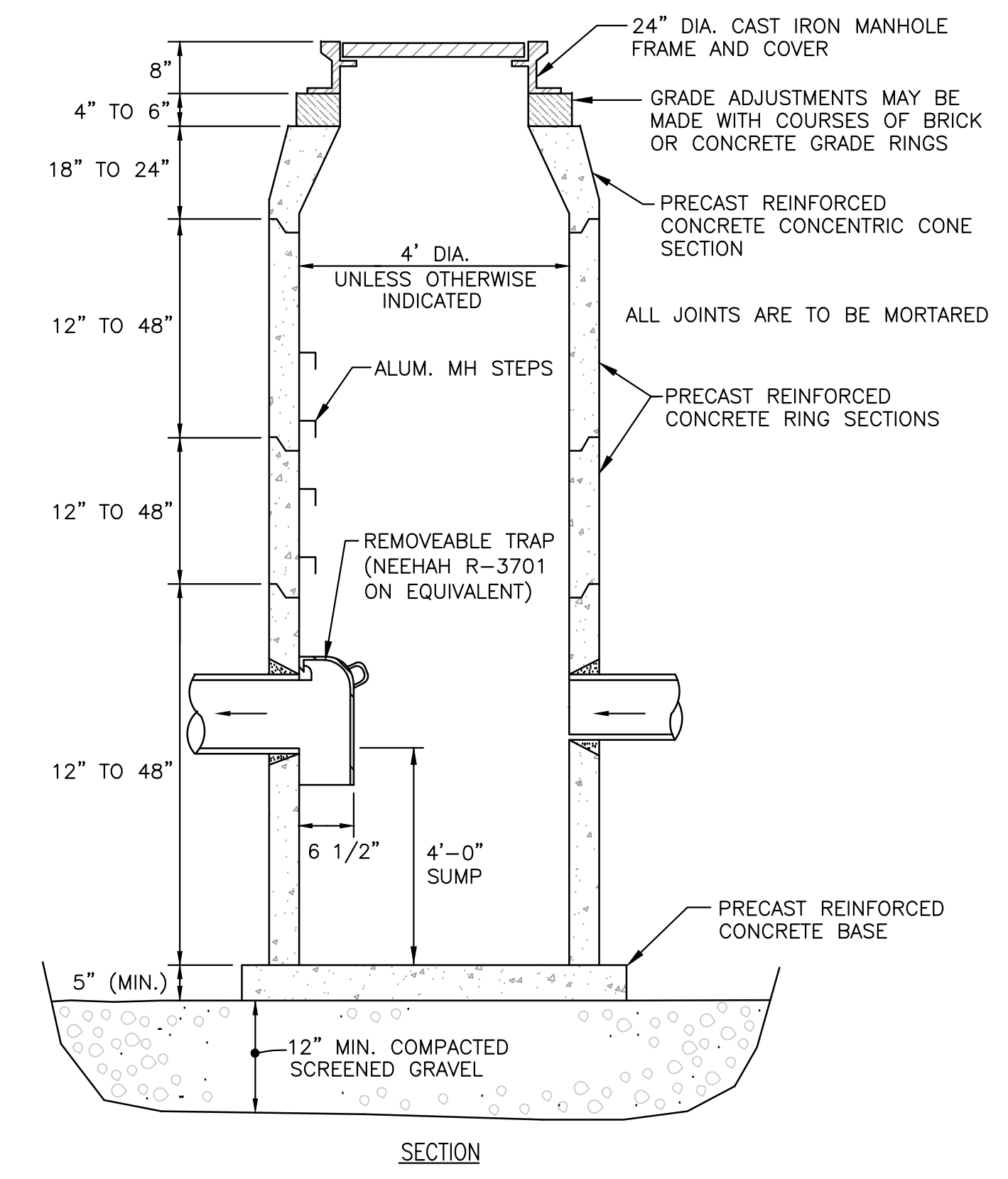
WATER MAIN CROSSING
 N.T.S.



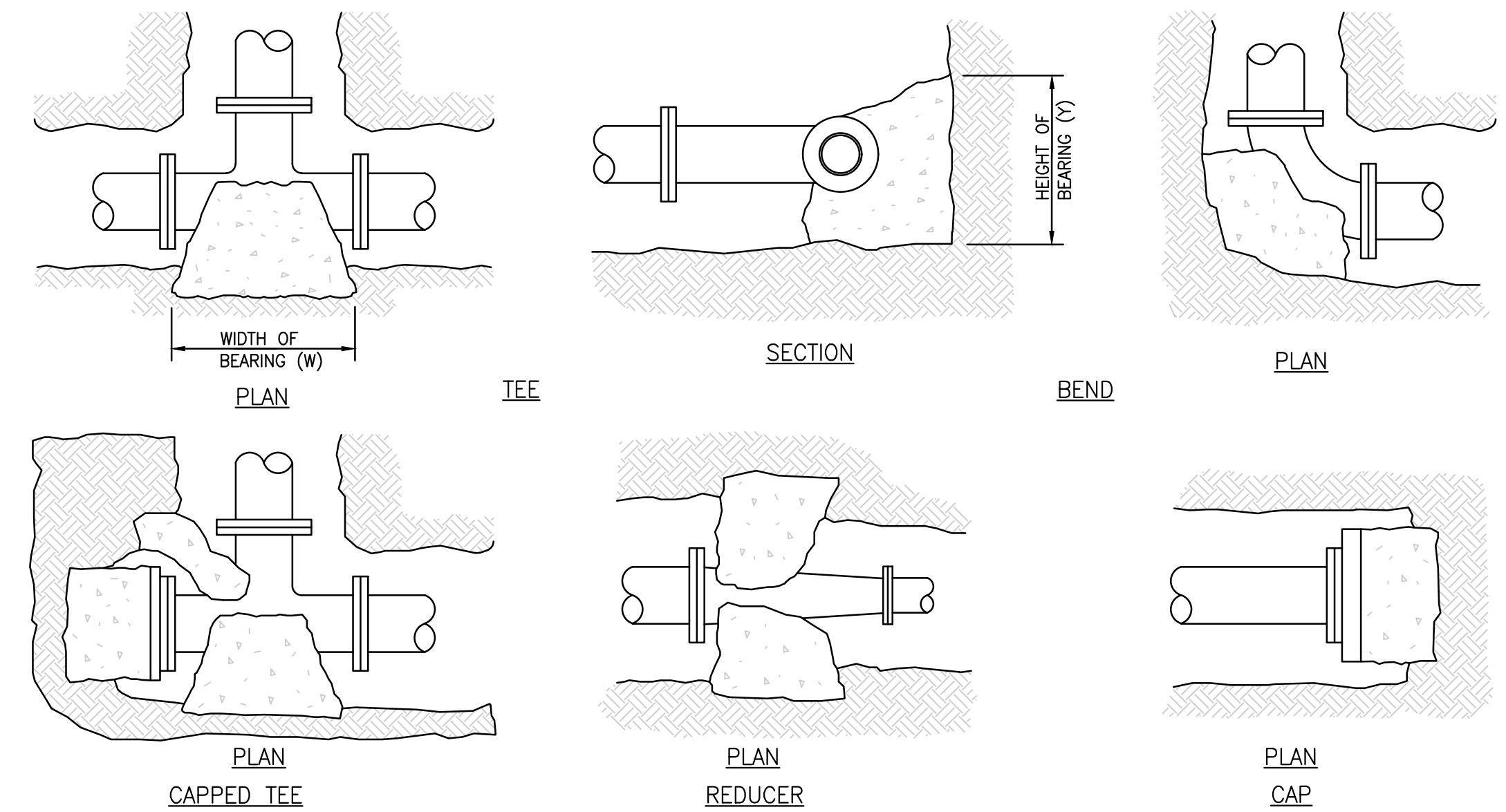
FIRE DEPARTMENT CONNECTION
 N.T.S.



WATER CONNECTION WITH TAPPING SLEEVE AND VALVE
 N.T.S.



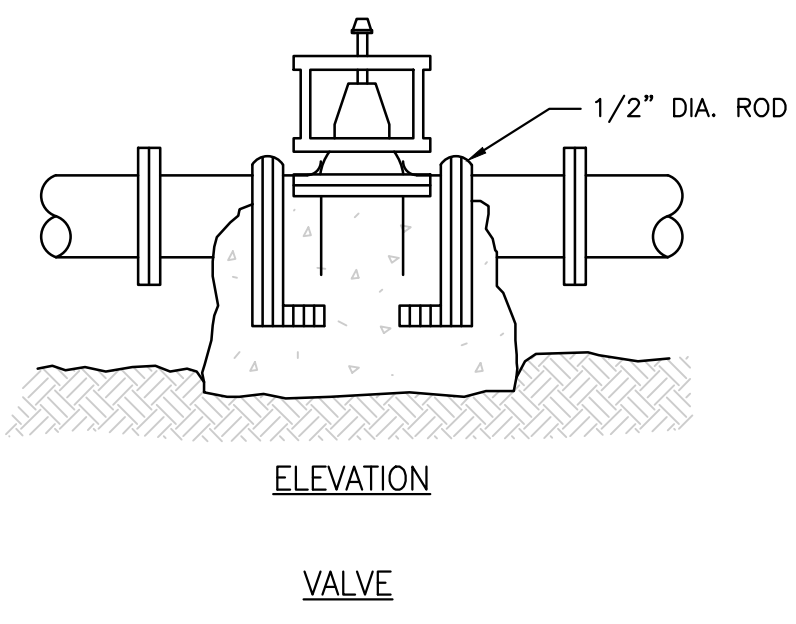
TYPICAL DRAIN MANHOLE + CATCH BASIN
 N.T.S.



PIPE SIZE	WATER PIPE	
	TEE, DEAD END, 90° BEND	45° & 22-8° BENDS
4" OR LESS	3 SQ. FEET	3 SQ. FEET
6"	4 SQ. FEET	3 SQ. FEET
8"	6 SQ. FEET	3 SQ. FEET
10"	9 SQ. FEET	5 SQ. FEET
12"	13 SQ. FEET	7 SQ. FEET
16"	23 SQ. FEET	12 SQ. FEET

- NOTES:**
- THRUST BLOCKS TO EXTEND TO UNDISTURBED GROUND.
 - ALL CONCRETE SHALL BE CLASS B.
 - TABLE IS BASED ON 3000 LB./SQ. FT. SOIL. IF SOIL CONDITIONS ARE FOUND TO INDICATE SOIL BEARING LESS, THE AREAS SHALL BE INCREASED ACCORDINGLY.
 - AREAS FOR PIPES GREATER THAN 16" SHALL BE CALCULATED FOR EACH PROJECT.
 - FOR ALL NON BEARING VERTICAL SURFACES.

TRUST BLOCKS FOR WATER SYSTEM
 N.T.S.



VALVE

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DECEMBER 1, 2021

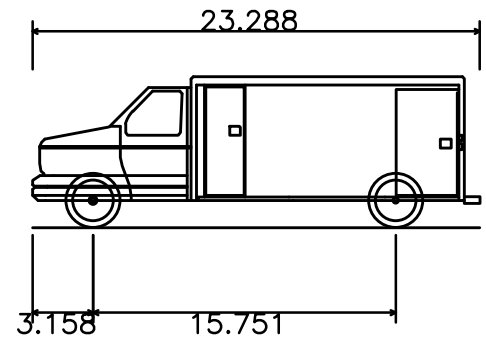
SCALE: 1" = 10'



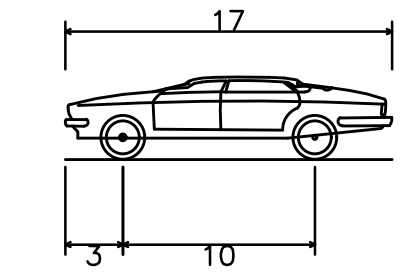
JOB NO.: 21228-238

SHEET TITLE:
 VEHICLE TRACKING

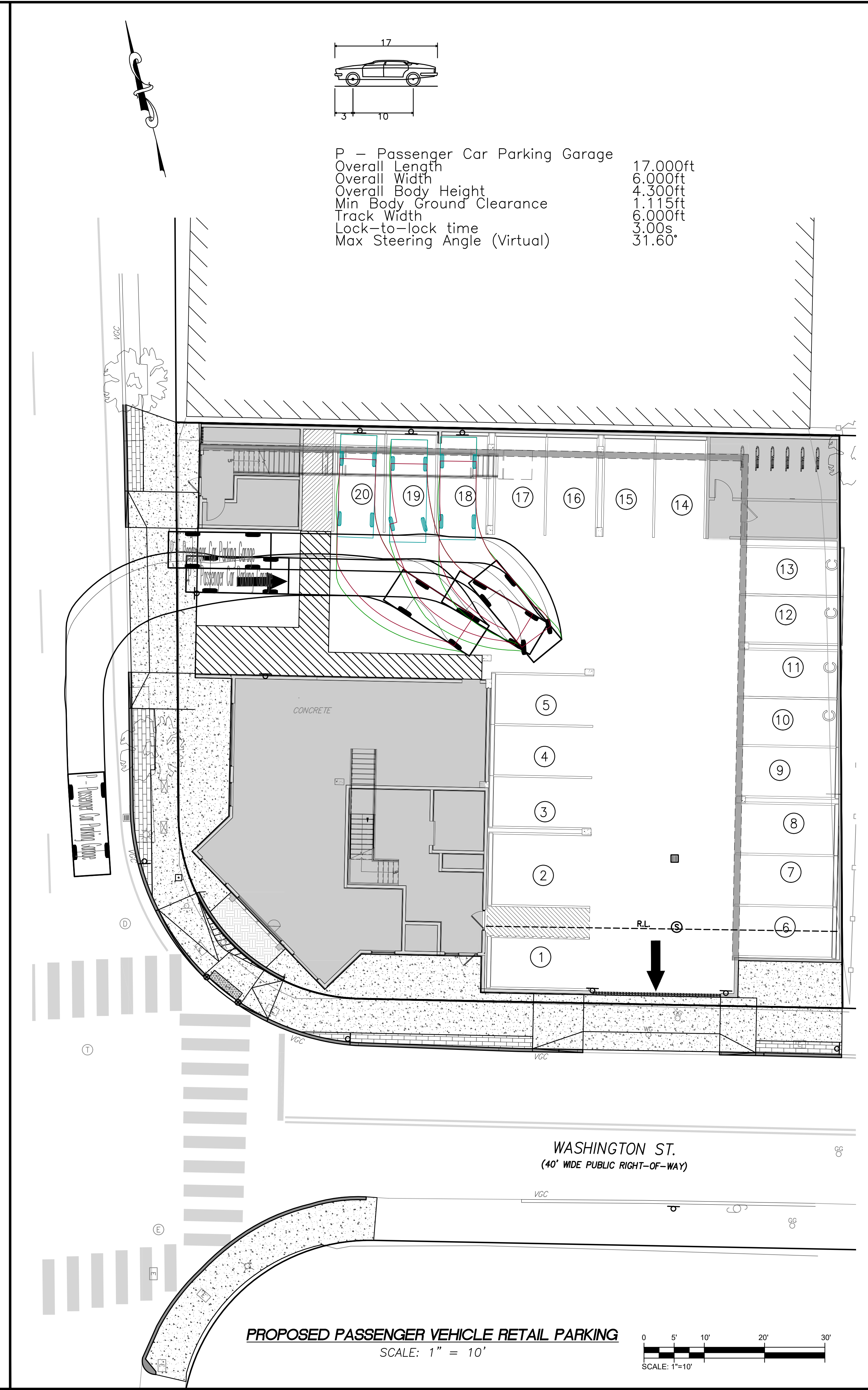
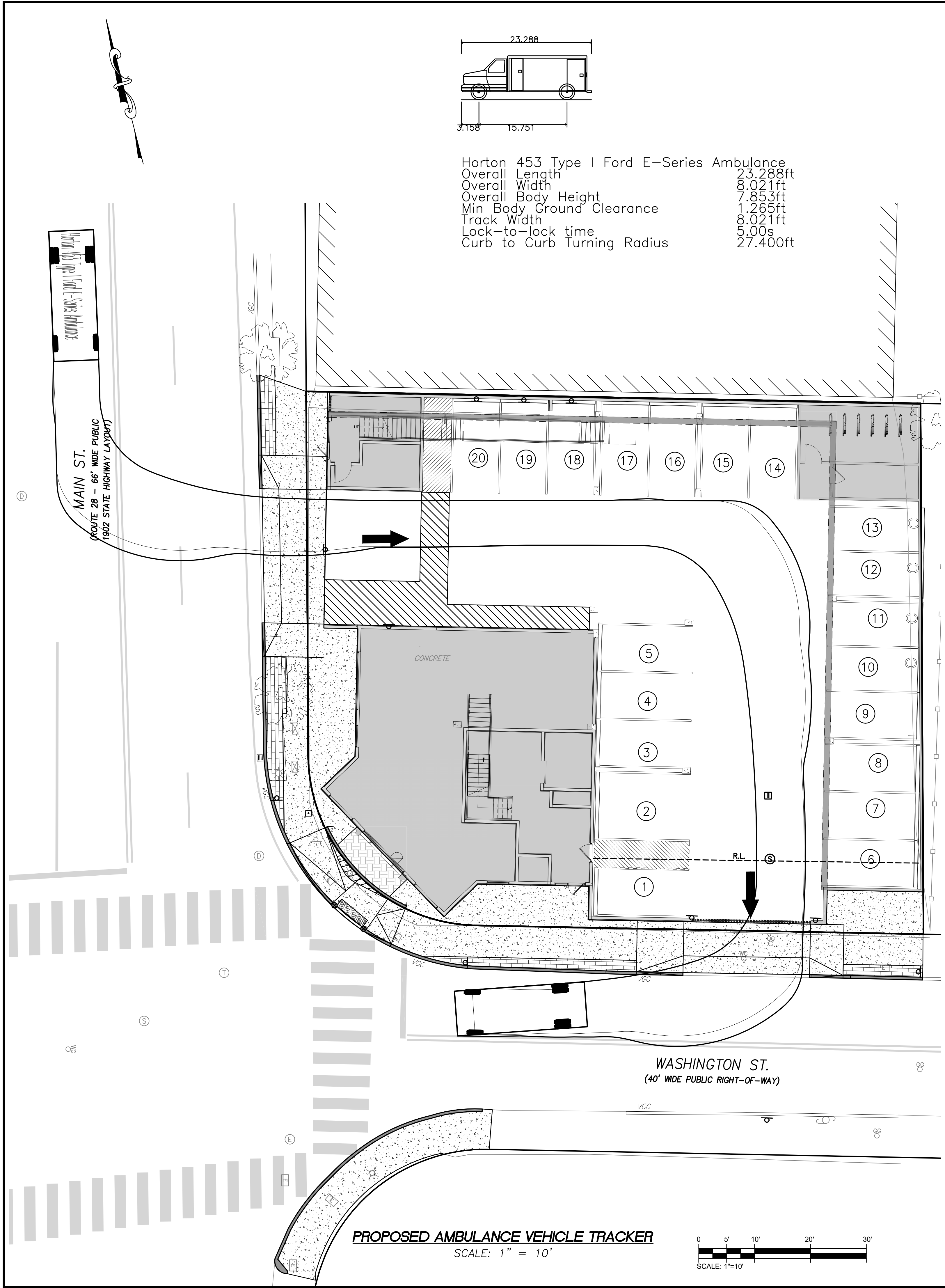
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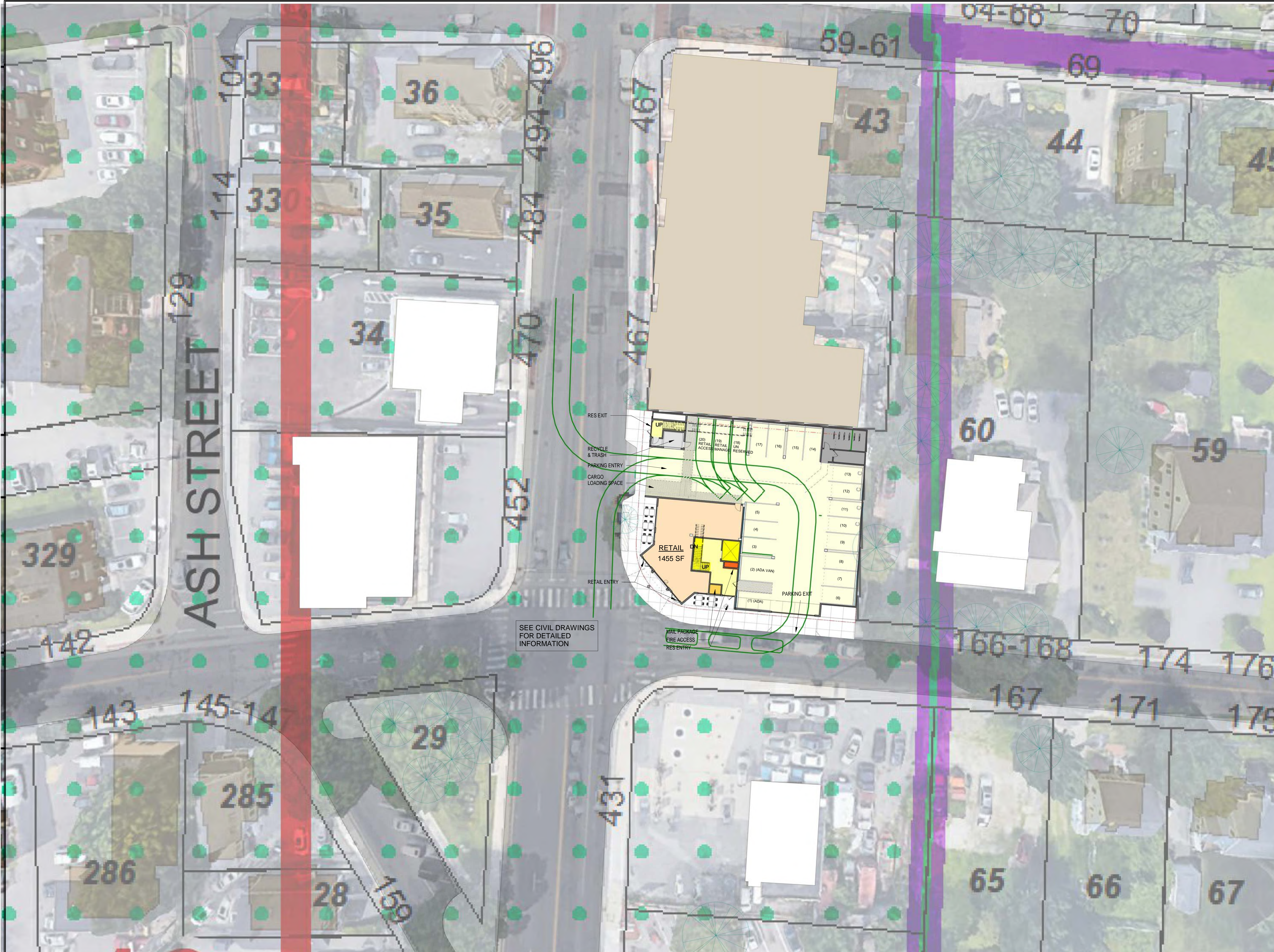


Horton 453 Type I Ford E-Series Ambulance
 Overall Length 23.288ft
 Overall Width 8.021ft
 Overall Body Height 7.853ft
 Min Body Ground Clearance 1.265ft
 Track Width 8.021ft
 Lock-to-lock time 5.00s
 Curb to Curb Turning Radius 27.400ft



P - Passenger Car Parking Garage
 Overall Length 17.000ft
 Overall Width 6.000ft
 Overall Body Height 4.300ft
 Min Body Ground Clearance 1.115ft
 Track Width 6.000ft
 Lock-to-lock time 3.00s
 Max Steering Angle (Virtual) 31.60°





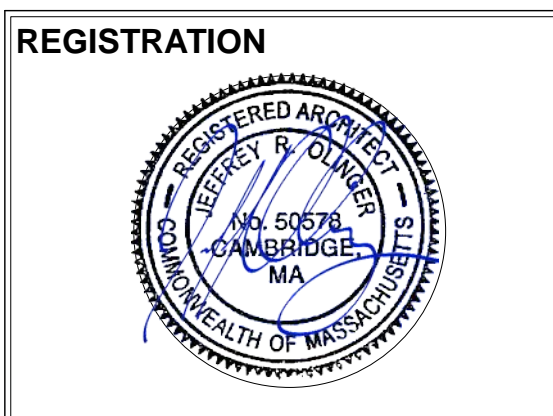
PROJECT NAME
459 MAIN STREET REDEVELOPMENT

PROJECT ADDRESS:
 459 MAIN STREET, READING, MA 01867

APPLICANT
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ZONING REVIEW

Project number 2122
 Date 01/18/2022
 Drawn by Author
 Checked by Checker
 Scale 1" = 20'-0"

REVISIONS

No.	Description	Date
1	ZONING UPDATE	01/18/2022
2	ZONING UPDATE	03/07/2022

SITE PLAN

A001
 459 MAIN STREET

PROJECT NAME
**459 MAIN STREET
 REDEVELOPMENT**

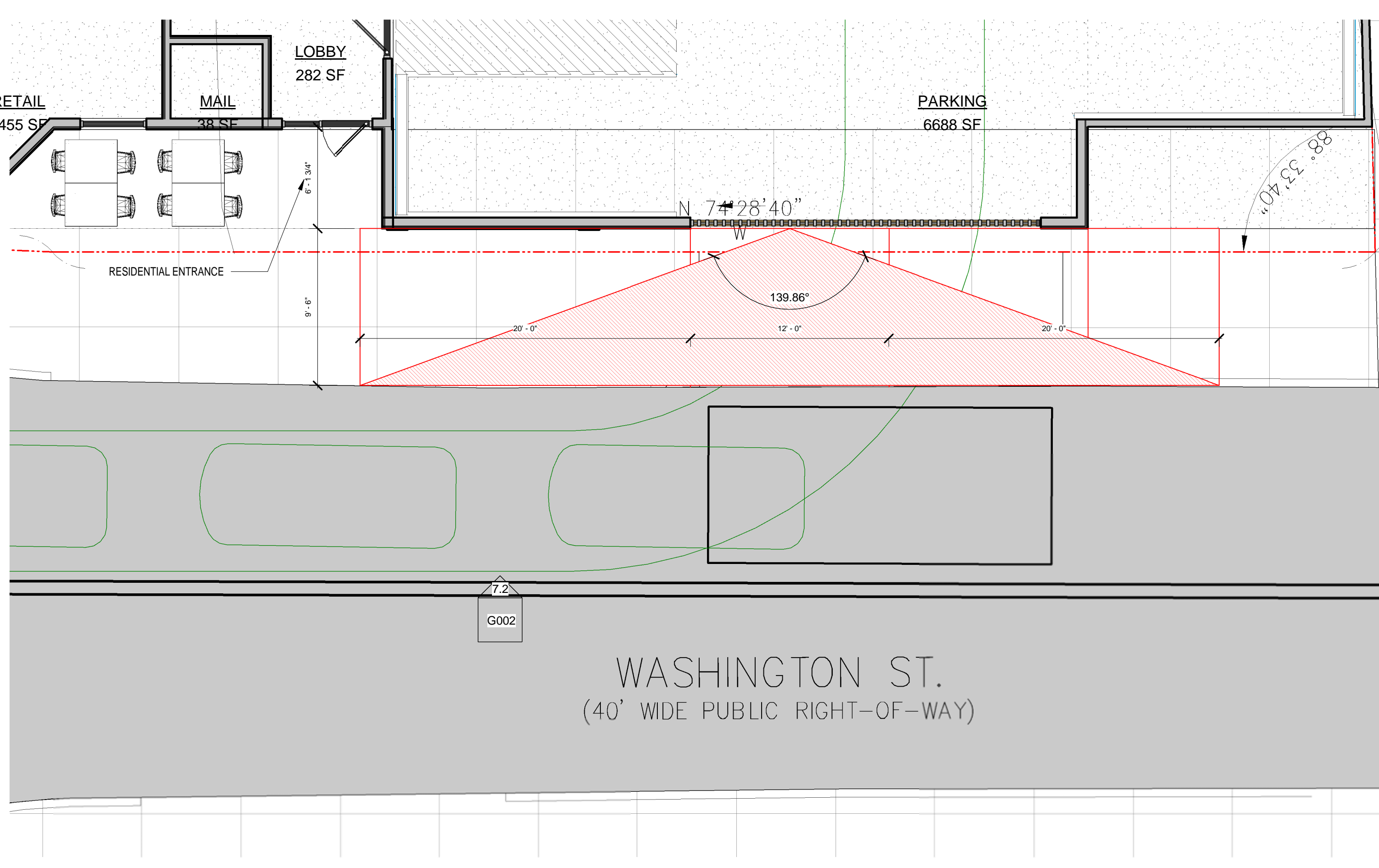
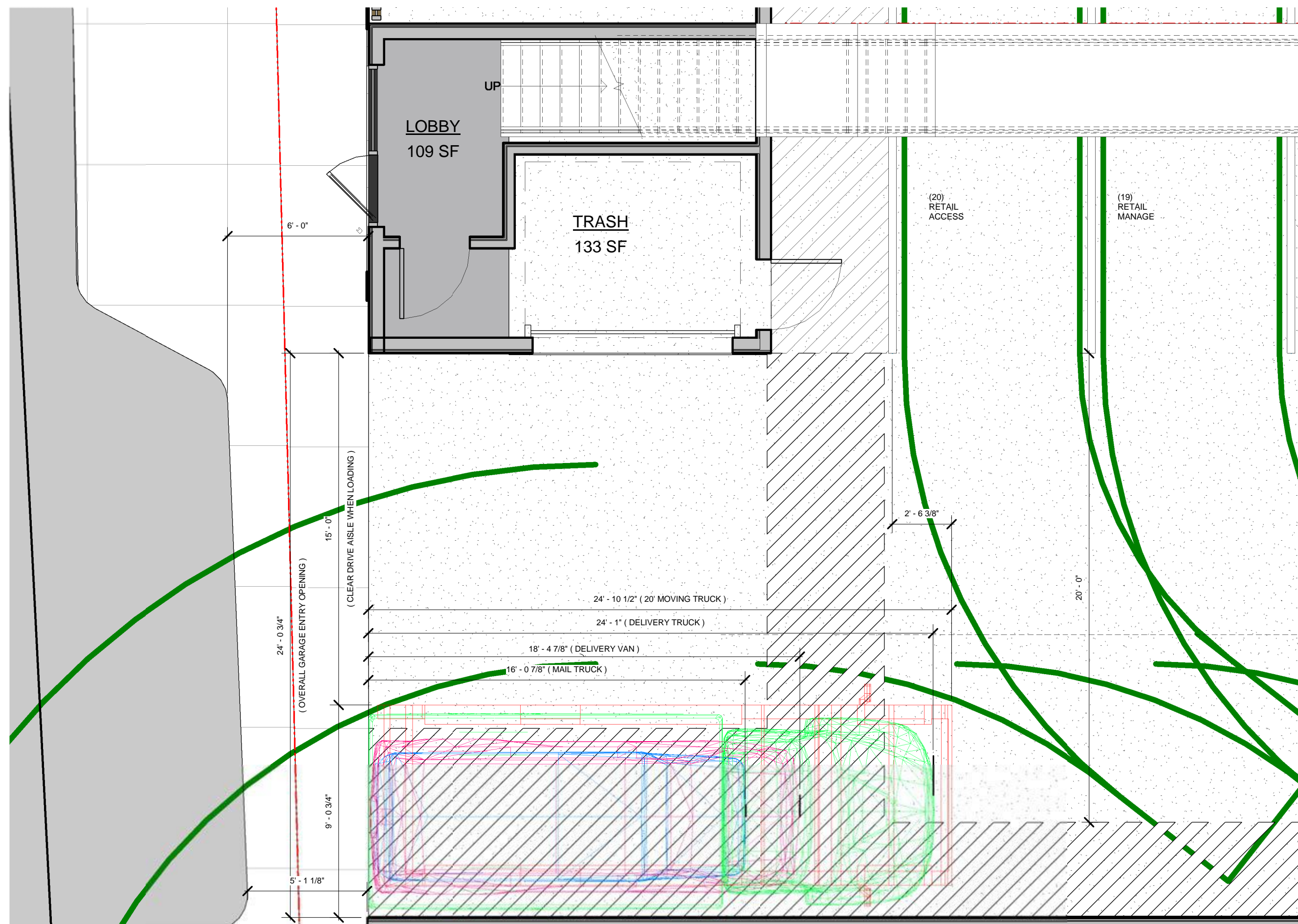
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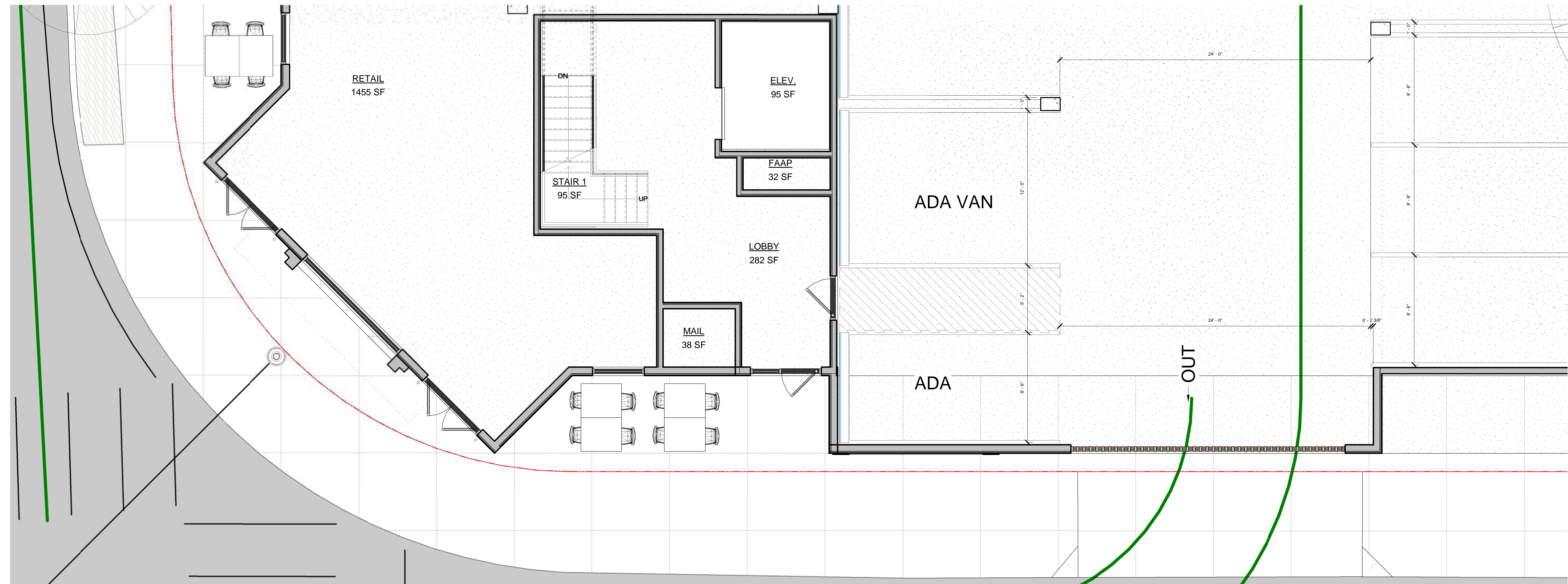
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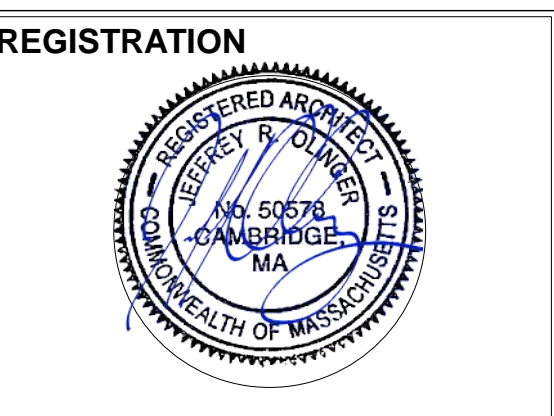


1 A002 EXTERIOR AREA DETAIL PLAN 1
 1/4" = 1'-0"

3 A002 EXTERIOR AREA PARKING ENTRANCE TURNING
 3/16" = 1'-0"



2 A002 EXTERIOR AREA DETAIL PLAN 2
 1/4" = 1'-0"



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4	ZONING UPDATE	05/31/2022

**EXTERIOR AREA
 DETAIL PLANS**

A002
 459 MAIN STREET

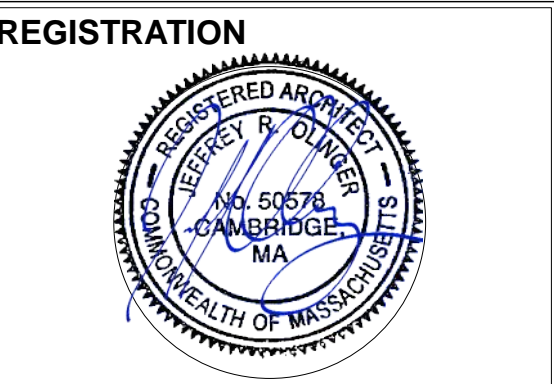
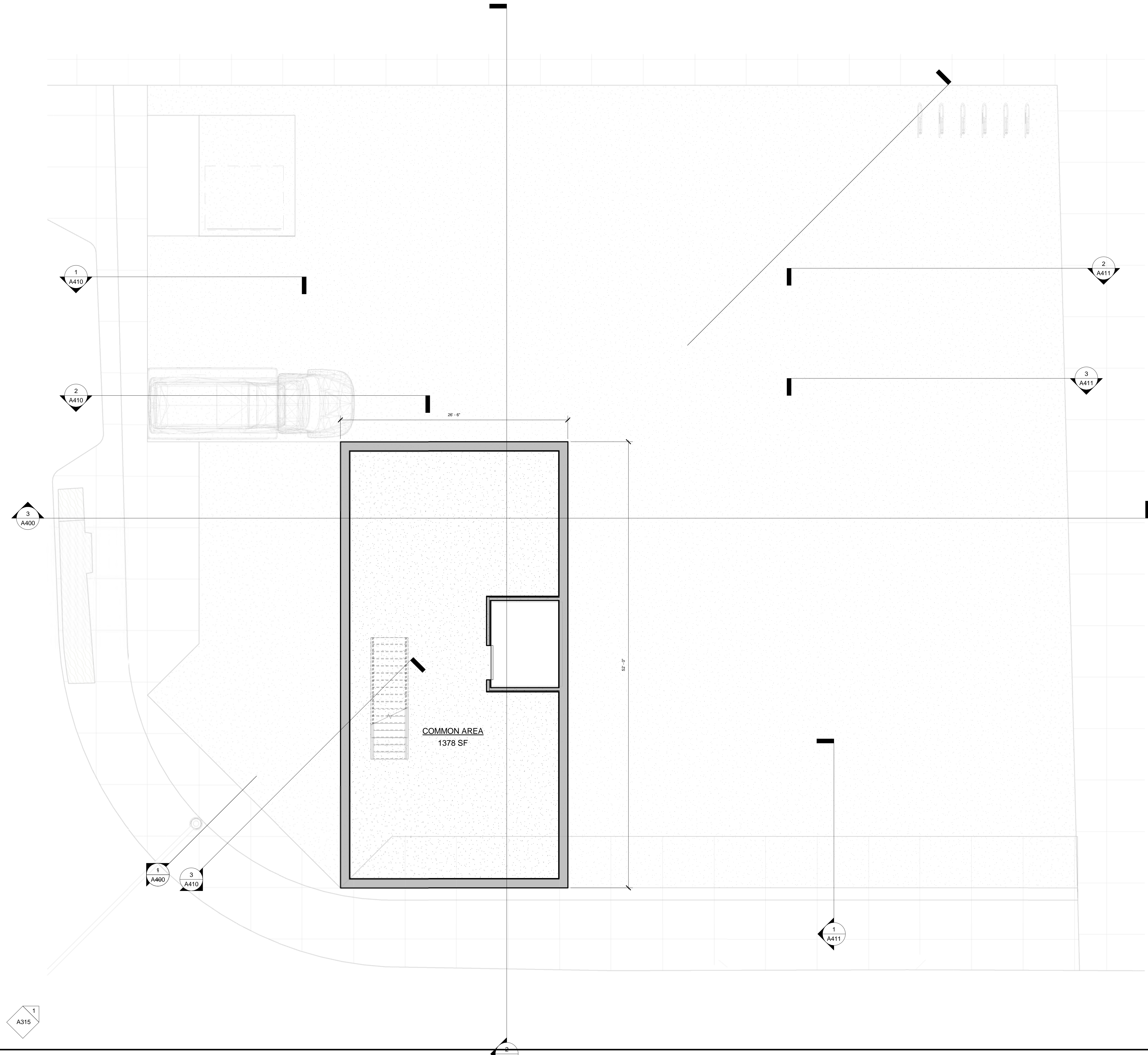
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2	ZONING UPDATE	03/07/2022

BASEMENT PLAN

A100

459 MAIN STREET

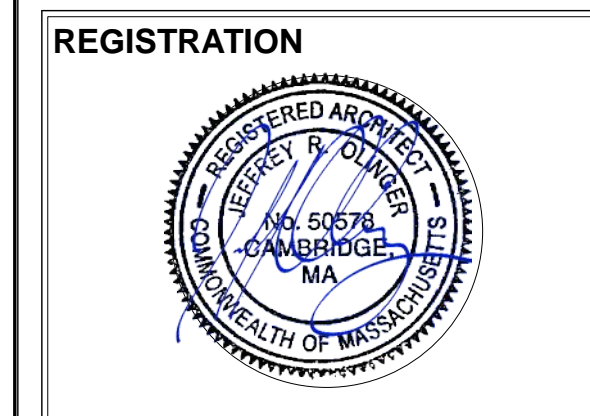
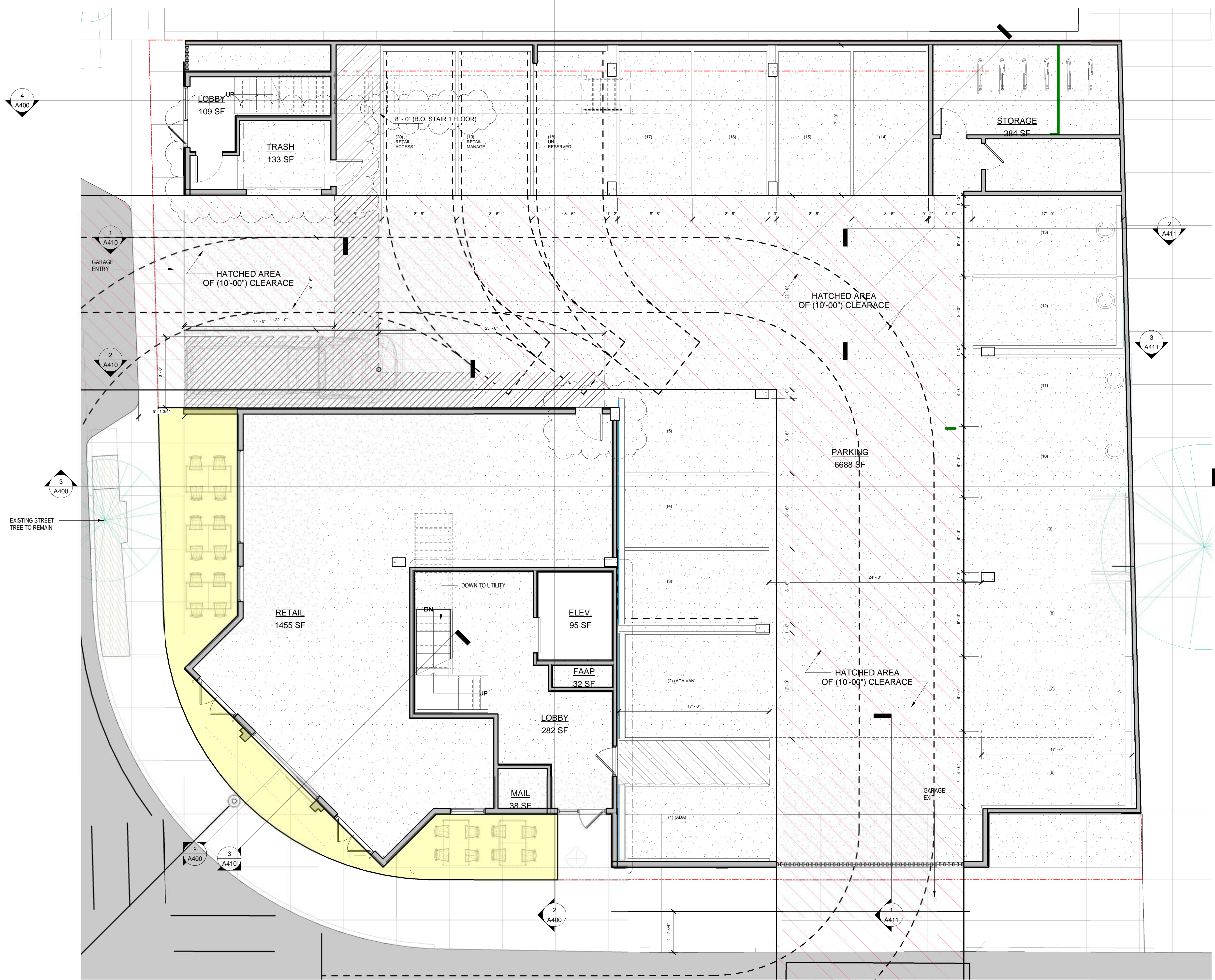
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3	ZONING UPDATE	04/05/2022
4	ZONING UPDATE	05/31/2022
5	ZONING UPDATE	09/07/2022

LEVEL 01 PLAN

A101
 459 MAIN STREET

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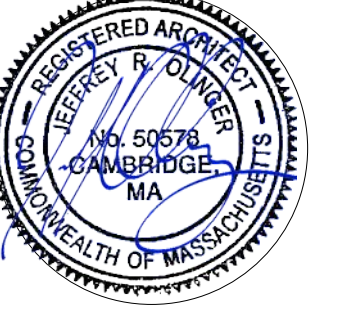
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REGISTRATION



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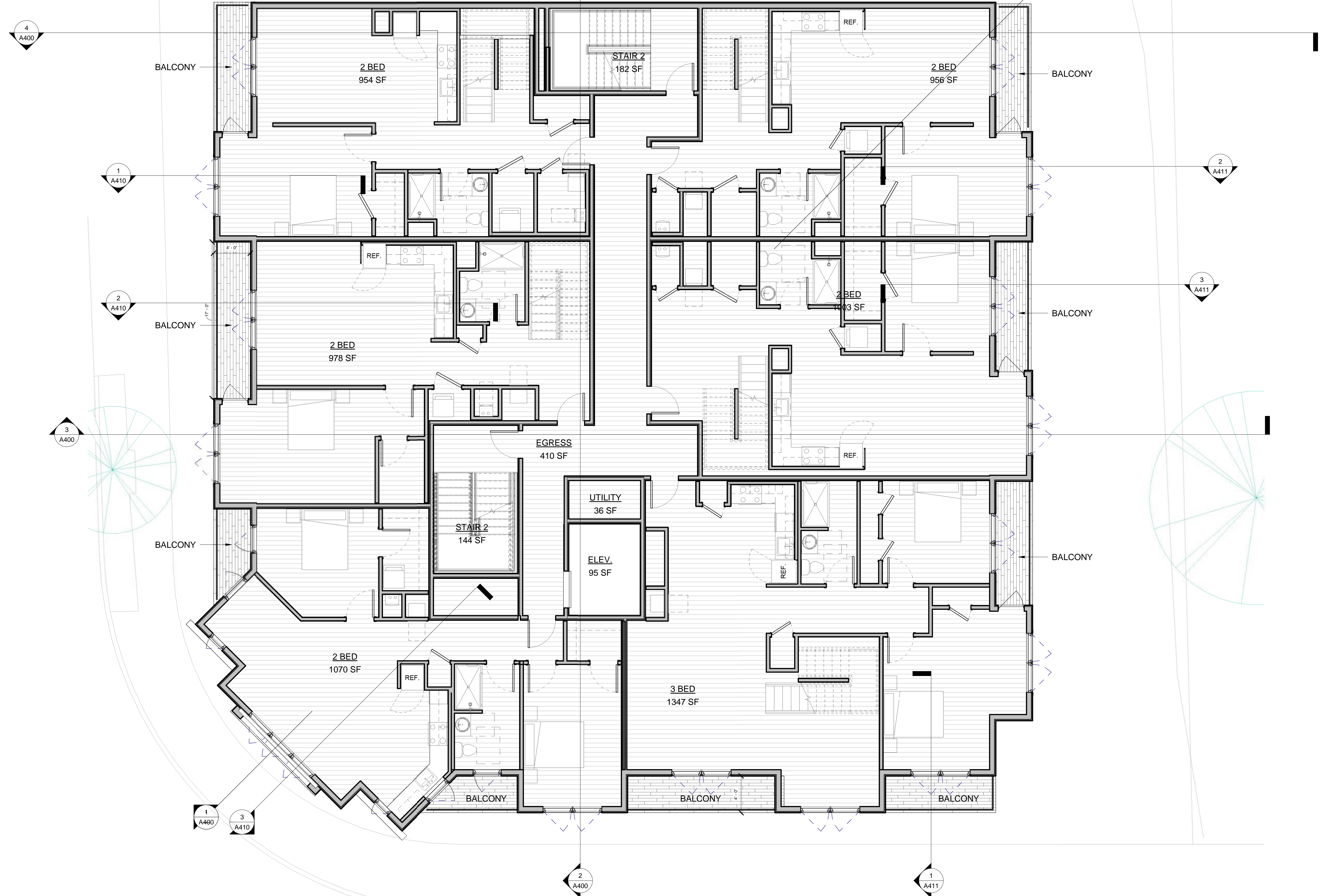
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1	ZONING UPDATE	01/18/2022
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4	ZONING UPDATE	05/31/2022

LEVEL 02 PLAN

A102

459 MAIN STREET



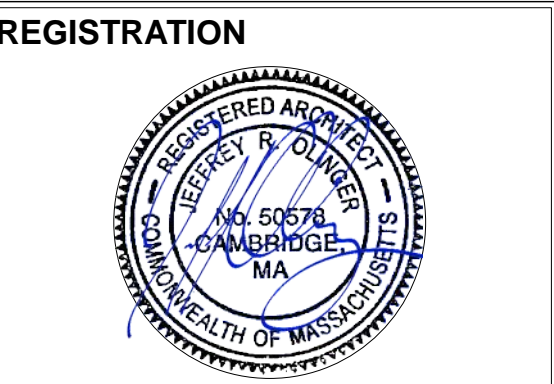
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LEVEL 03 PLAN

A103
 459 MAIN STREET

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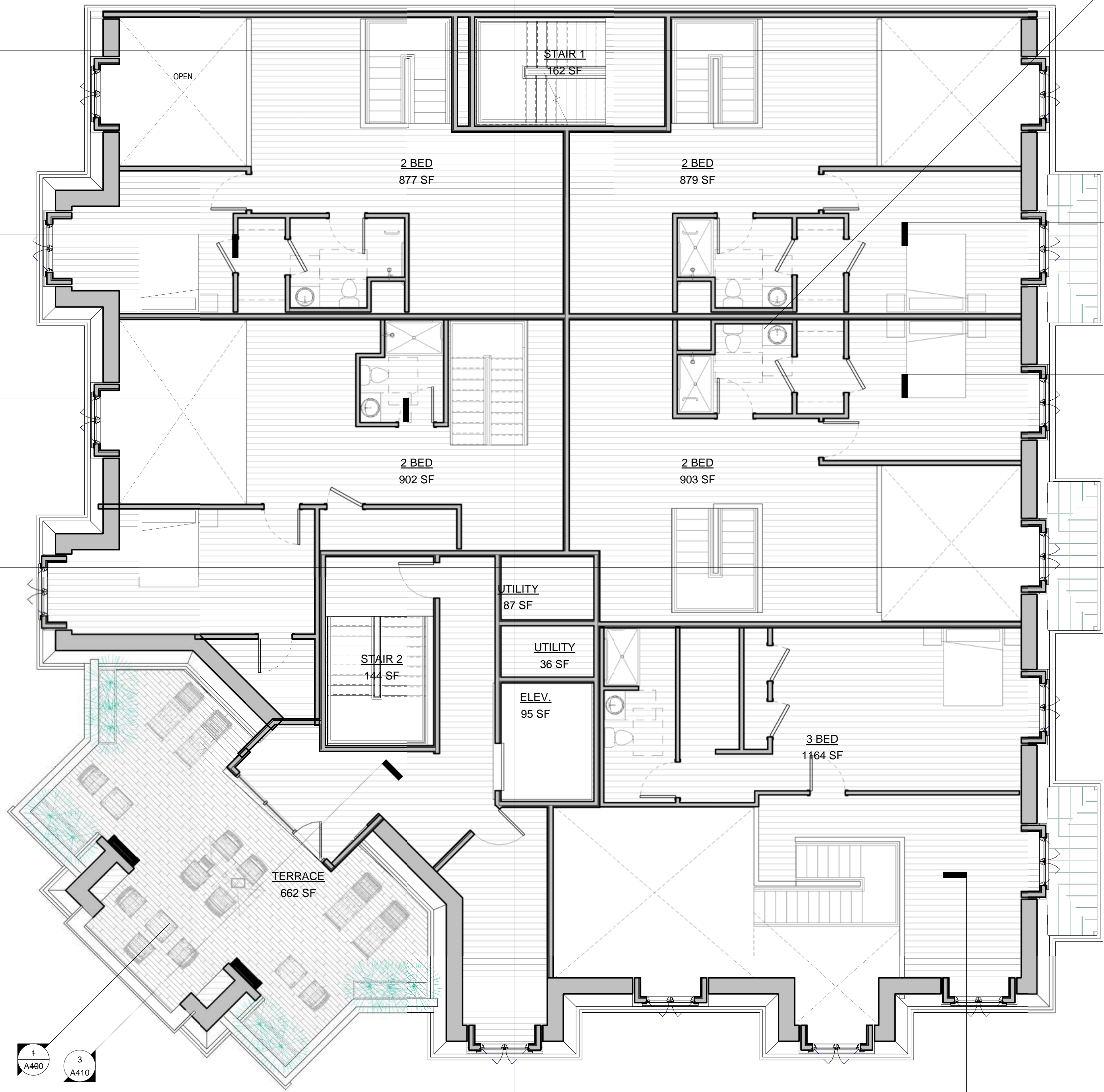
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4
A400

1
A410

2
A410

3
A400



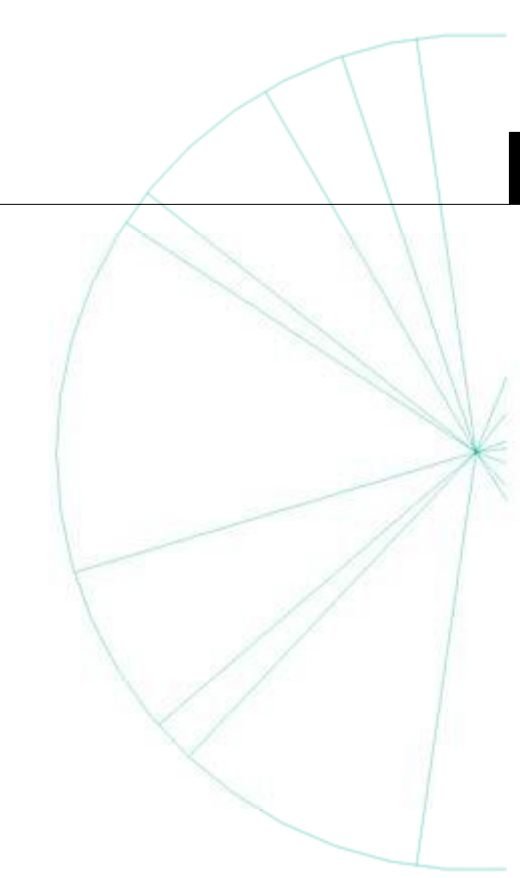
1
A490

3
A410

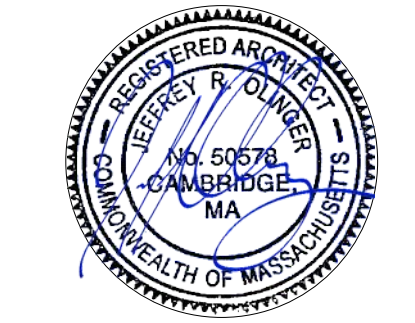
2
A400

1
A411

1
A315



REGISTRATION



ZONING REVIEW

Project number 2122
 Date 01/18/2022
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 Checked by Checker
 Scale 3/16" = 1'-0"

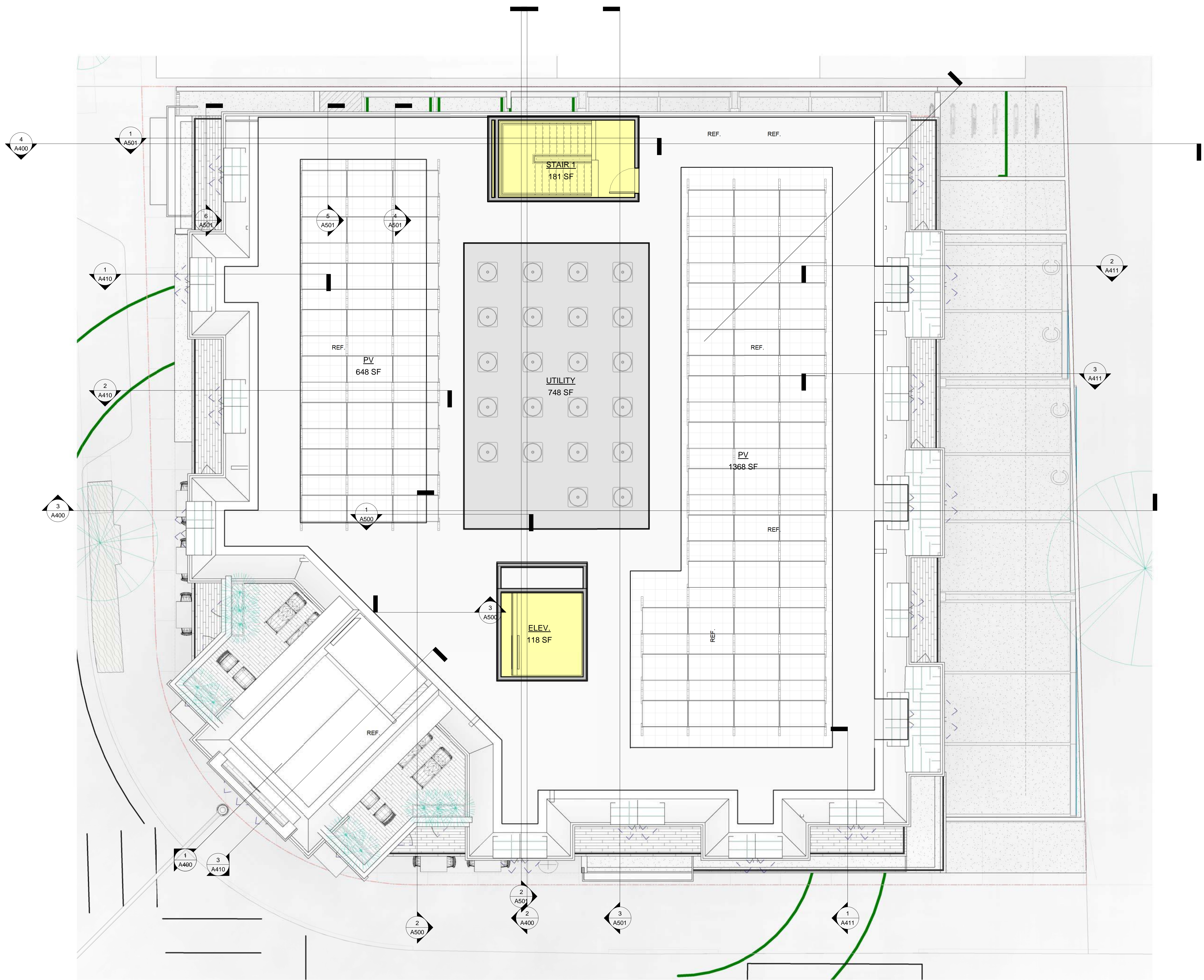
REVISIONS

No.	Description	Date
1	ZONING UPDATE	01/18/2022

LEVEL 04 PLAN

A104

459 MAIN STREET



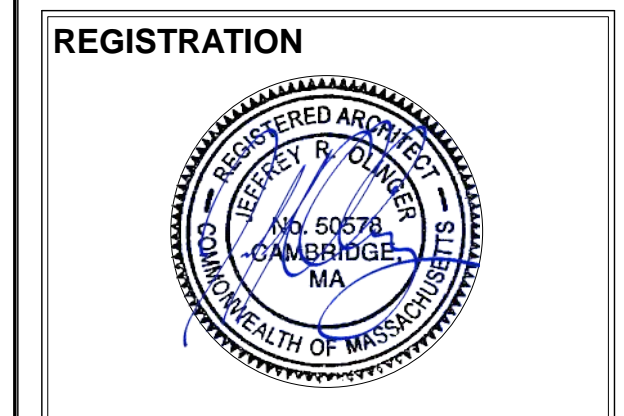
PROJECT NAME
459 MAIN STREET REDEVELOPMENT

PROJECT ADDRESS:
 459 MAIN STREET, READING, MA 01867

APPLICANT
 Giuseppe C. Fodera
 GC Fodera Contracting Company
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ROOF PLAN

A105
 459 MAIN STREET

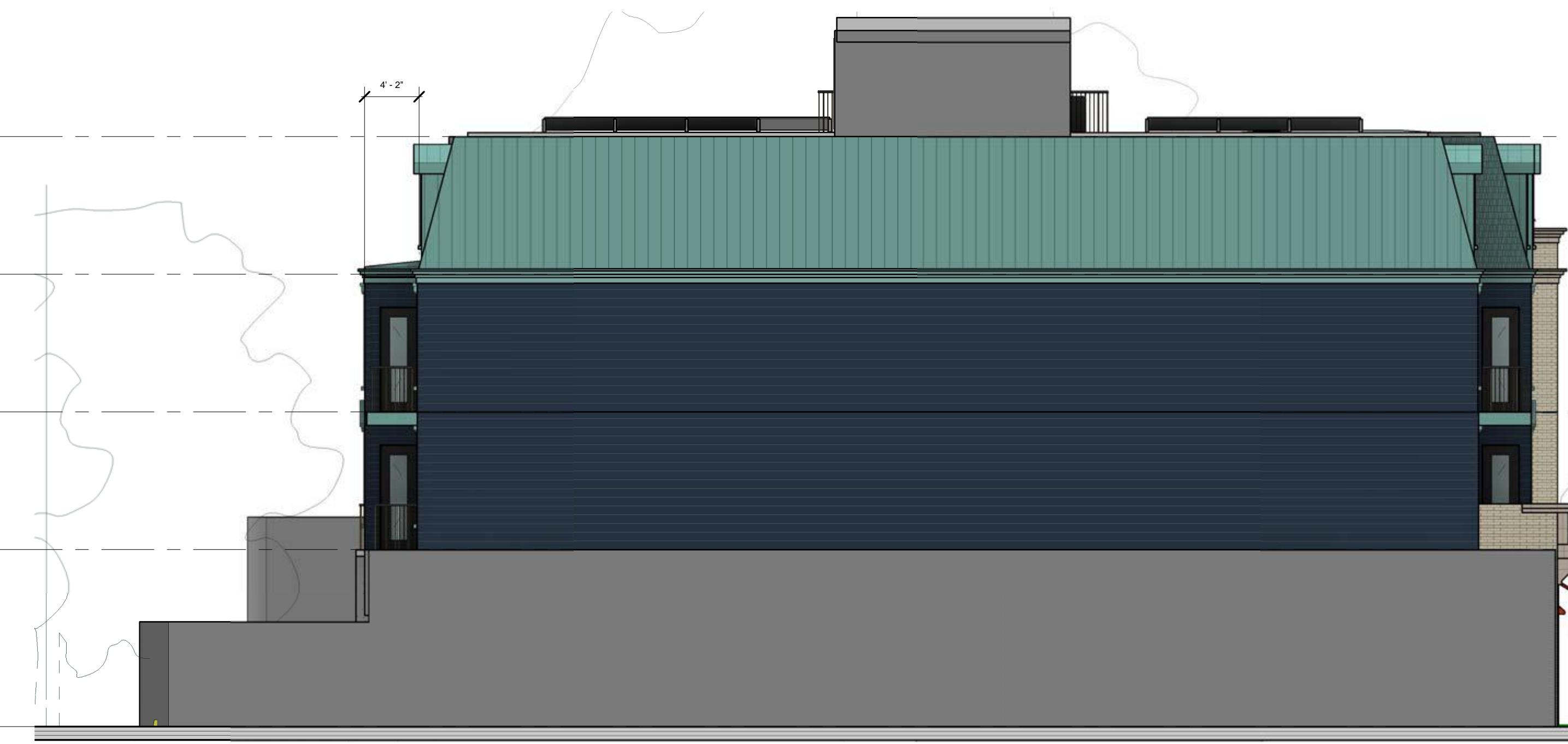
PROJECT NAME
**459 MAIN STREET
 REDEVELOPMENT**

PROJECT ADDRESS:
 459 MAIN STREET, READING,
 MA 01867

APPLICANT
 Giuseppe C. Fodera
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3 A300_COMPOSITE ELEVATION_NORTH
 1/8" = 1'-0"



2 A300_COMPOSITE ELEVATION_WEST
 1/8" = 1'-0"



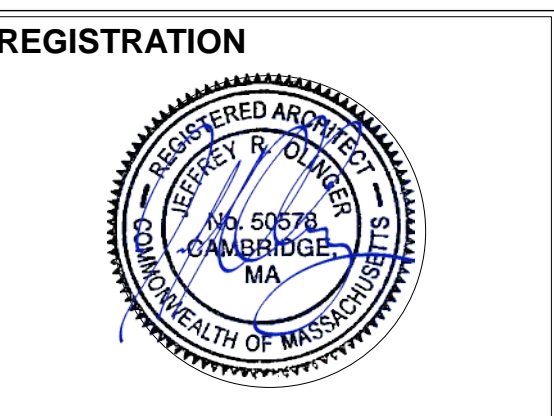
5 A300_COMPOSITE ELEVATION_SOUTHWEST CORNER
 1/8" = 1'-0"



4 A300_COMPOSITE ELEVATION_SOUTH
 1/8" = 1'-0"



1 A300_COMPOSITE ELEVATION_EAST
 1/8" = 1'-0"



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1	ZONING UPDATE	01/18/2022
2	ZONING UPDATE	03/07/2022
3	ZONING UPDATE	04/05/2022
4	ZONING UPDATE	05/31/2022

**COMPOSITE
 ELEVATIONS**

A300
 459 MAIN STREET

PROJECT NAME
**459 MAIN STREET
 REDEVELOPMENT**

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 459 MAIN STREET, READING,
 MA 01867

APPLICANT
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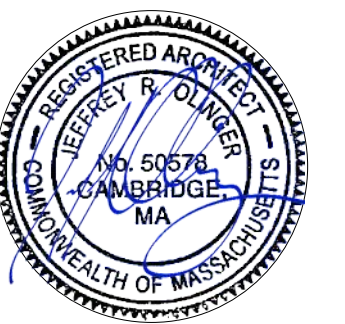
ARCHITECT
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MATERIAL NOTES ARE TYPICAL,
 SEE (G006) FOR PROJECT MATERIALS



REGISTRATION



ZONING REVIEW

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REVISIONS

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2	ZONING UPDATE	03/07/2022

**WEST BUILDING
 ELEVATION**

A310

459 MAIN STREET



PROJECT NAME
**459 MAIN STREET
 REDEVELOPMENT**

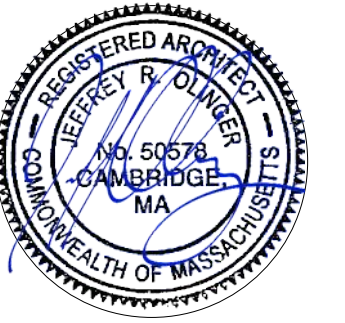
PROJECT ADDRESS:
 459 MAIN STREET, READING,
 MA 01867

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3	ZONING UPDATE	04/05/2022
4	ZONING UPDATE	05/31/2022

**SOUTH BUILDING
 ELEVATION**

A312

459 MAIN STREET

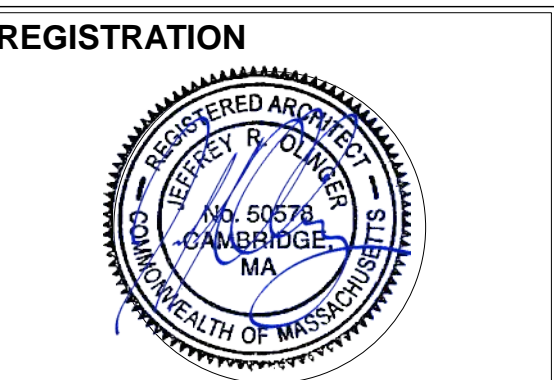
PROJECT NAME
**459 MAIN STREET
 REDEVELOPMENT**

PROJECT ADDRESS:
 459 MAIN STREET, READING,
 MA 01867

APPLICANT
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3	ZONING UPDATE	04/05/2022
4	ZONING UPDATE	05/31/2022

**EAST BUILDING
 ELEVATION**

A313
 459 MAIN STREET

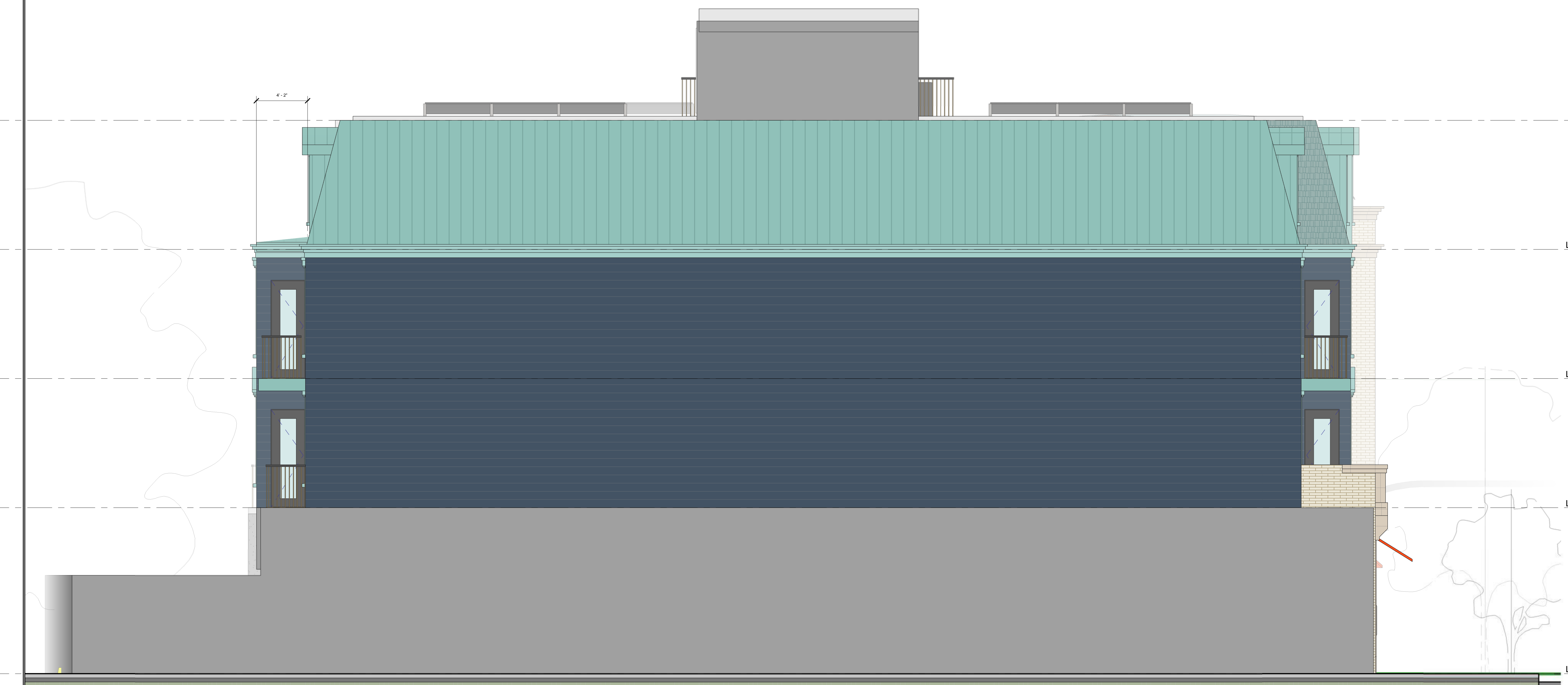
PROJECT NAME
**459 MAIN STREET
 REDEVELOPMENT**

PROJECT ADDRESS:
 459 MAIN STREET, READING,
 MA 01867

APPLICANT
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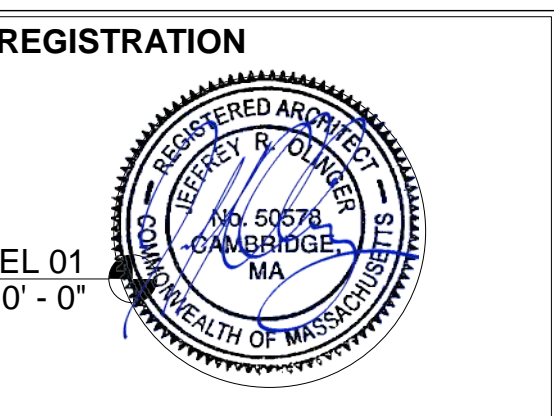
ROOF
 45' - 0" CIVIL ENGINEER
 FODERA
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LEVEL 04
 34' - 6"

LEVEL 03
 24' - 0"

LEVEL 01
 0' - 0"



ZONING REVIEW

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REVISIONS

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1	ZONING UPDATE	01/18/2022
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**NORTH BUILDING
 ELEVATION**

A314
 459 MAIN STREET

PROJECT NAME
**459 MAIN STREET
 REDEVELOPMENT**

PROJECT ADDRESS:
 459 MAIN STREET, READING,
 MA 01867

APPLICANT
 Giuseppe C. Fodera
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 28 Harbor Street
 Danvers, MA 01923

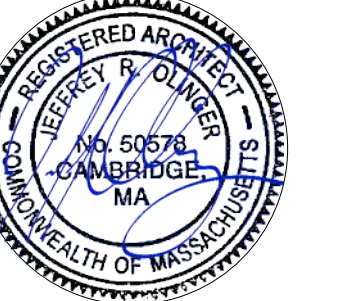
ARCHITECT
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1 A315_SOUTHWEST CORNER & MISC.
 1/4" = 1'-0"

REGISTRATION



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REVISIONS

No.	Description	Date
1	ZONING UPDATE	01/18/2022

**CORNER & MISC.
 ELEVATIONS**

A315

459 MAIN STREET

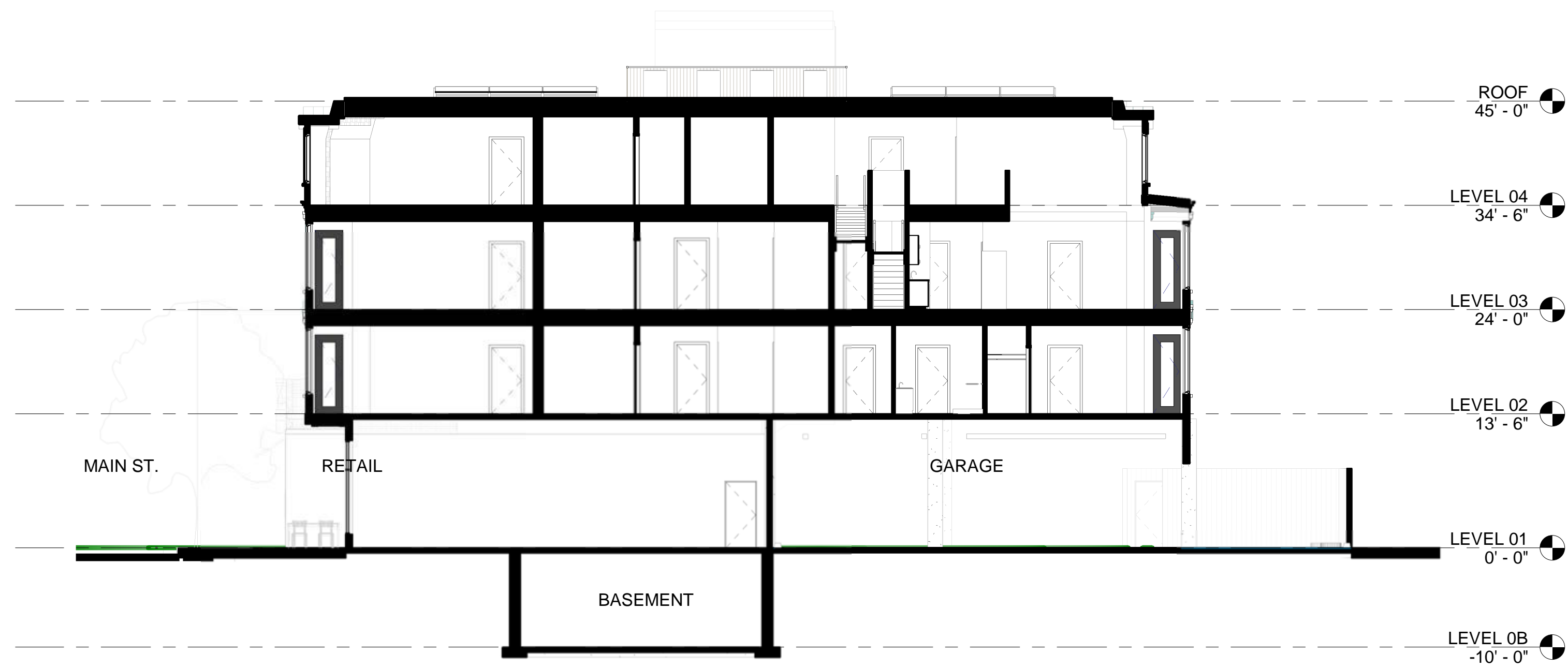
PROJECT NAME
459 MAIN STREET REDEVELOPMENT

PROJECT ADDRESS:
 459 MAIN STREET, READING, MA 01867

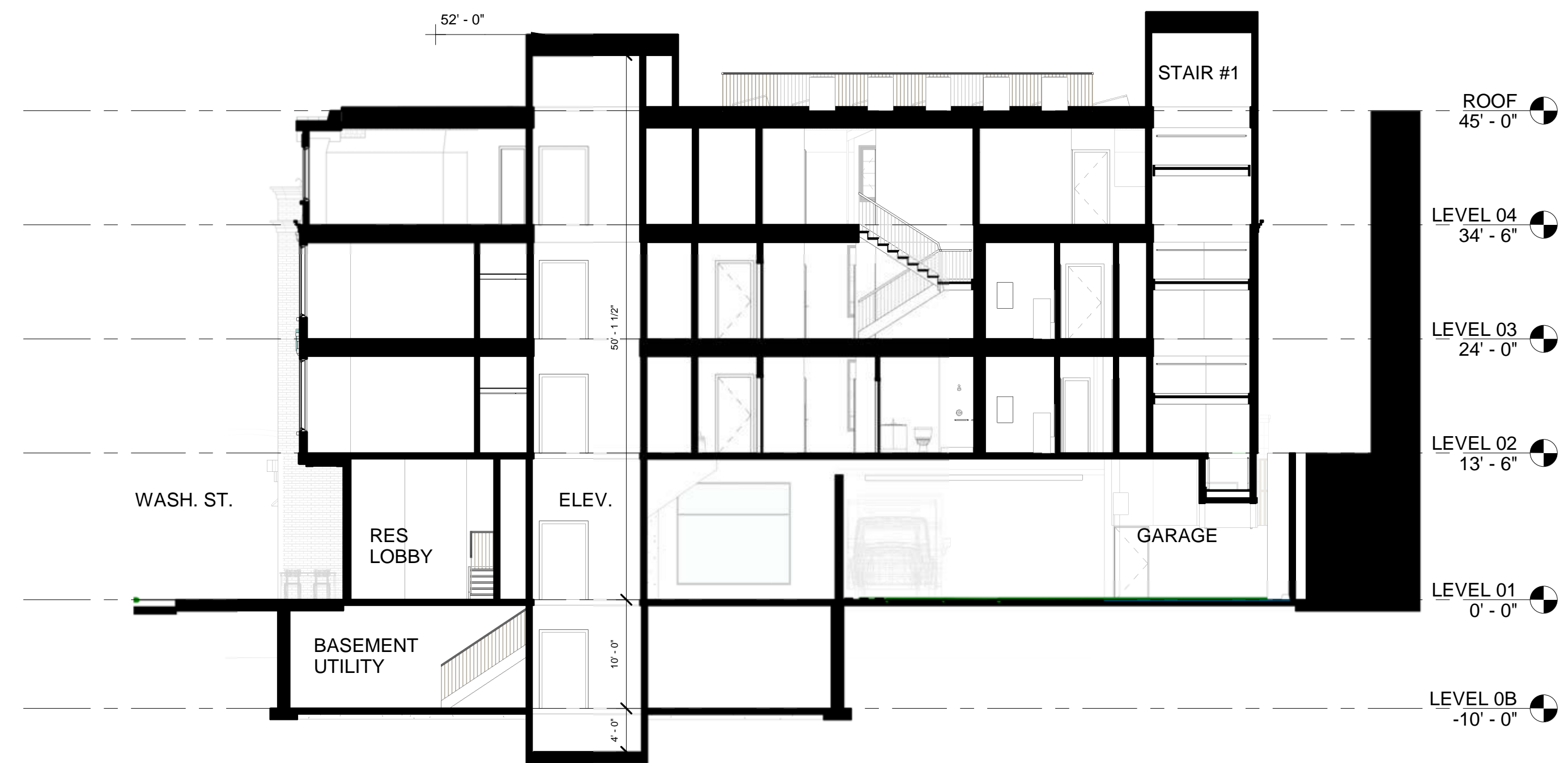
APPLICANT
 Giuseppe C. Fodera
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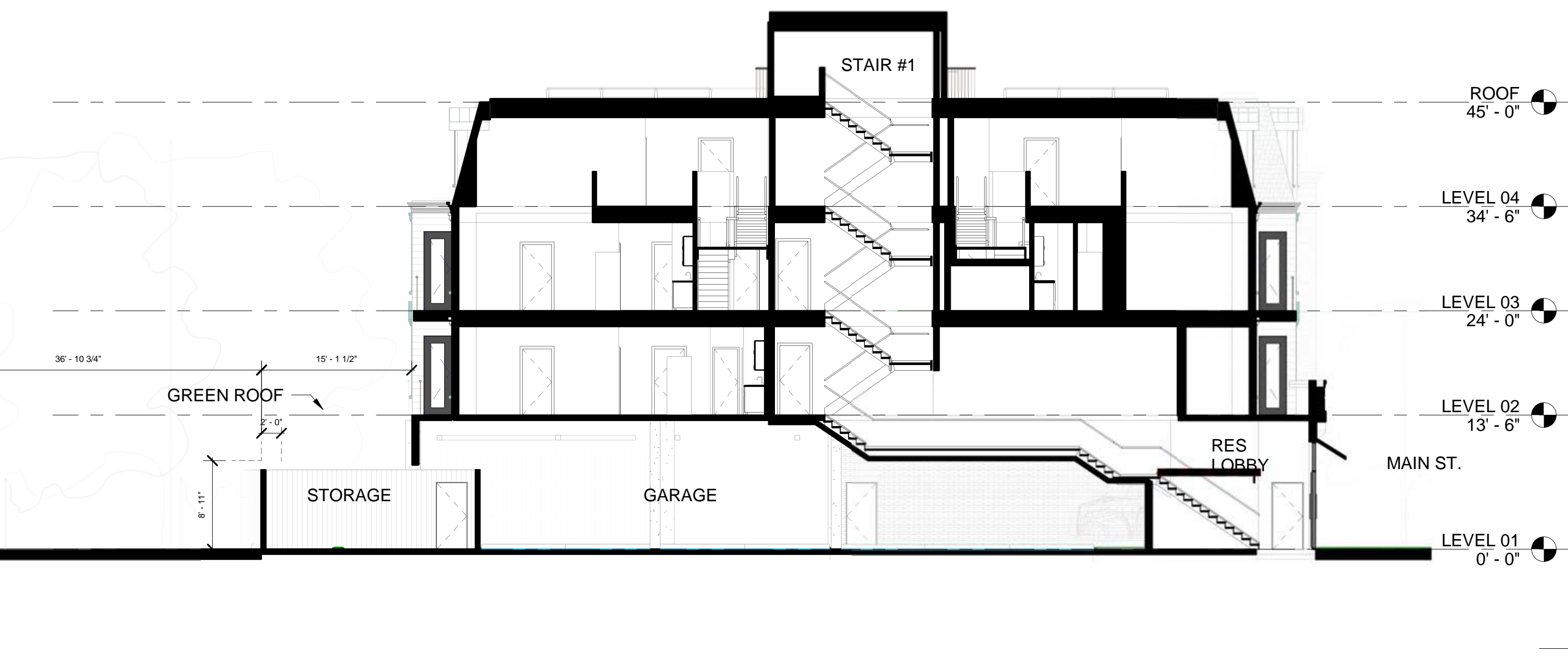
CIVIL ENGINEER
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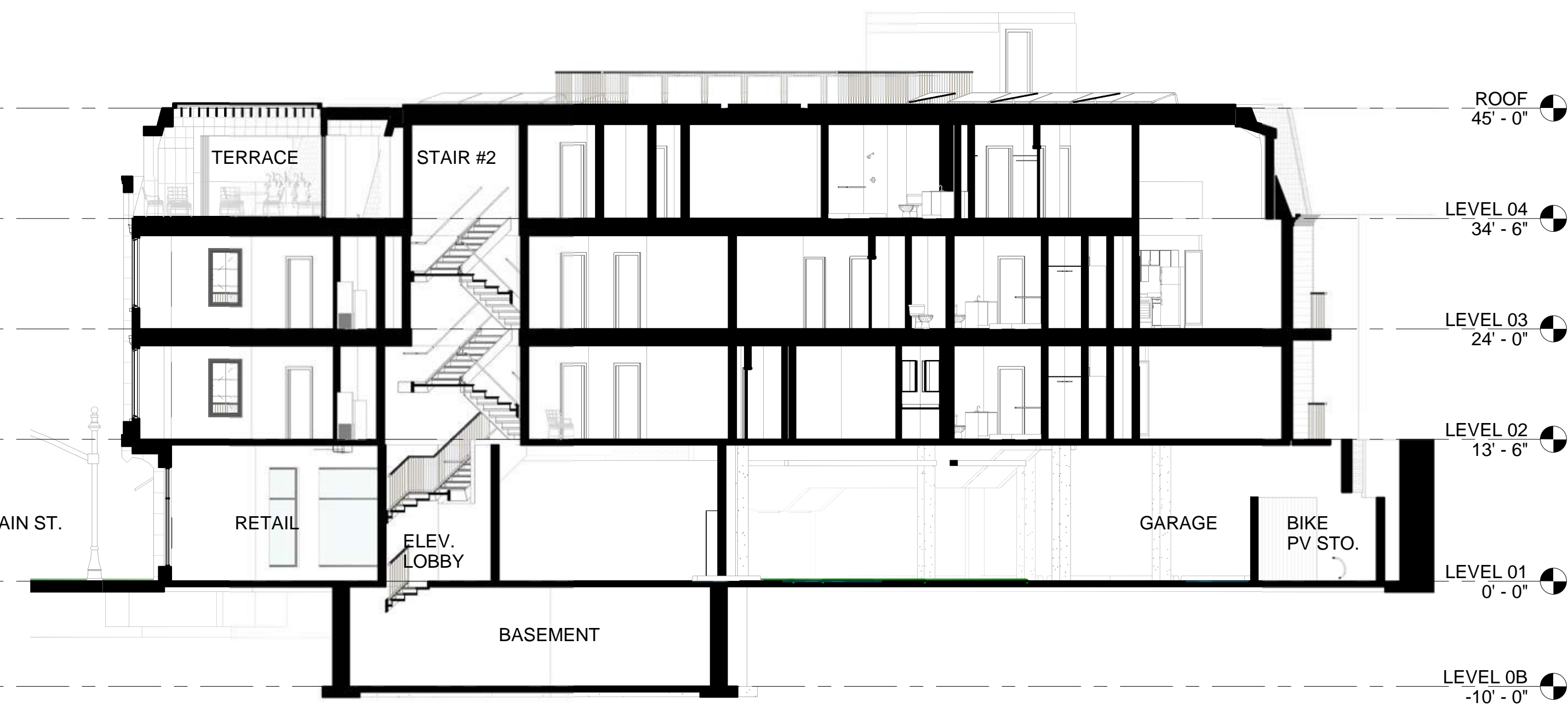
3 A400 WEST-EAST SECTION
 1" = 10'-0"



2 A400 NORTH-SOUTH SECTION
 1" = 10'-0"



4 A400 WEST-EAST SECTION @ STAIR
 1" = 10'-0"



1 A400 CORNER SECTION
 1" = 10'-0"

REGISTRATION



ZONING REVIEW

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 Scale 1" = 10'-0"

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No.	Description	Date
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3	ZONING UPDATE	04/05/2022

BUILDING SECTIONS

A400

459 MAIN STREET

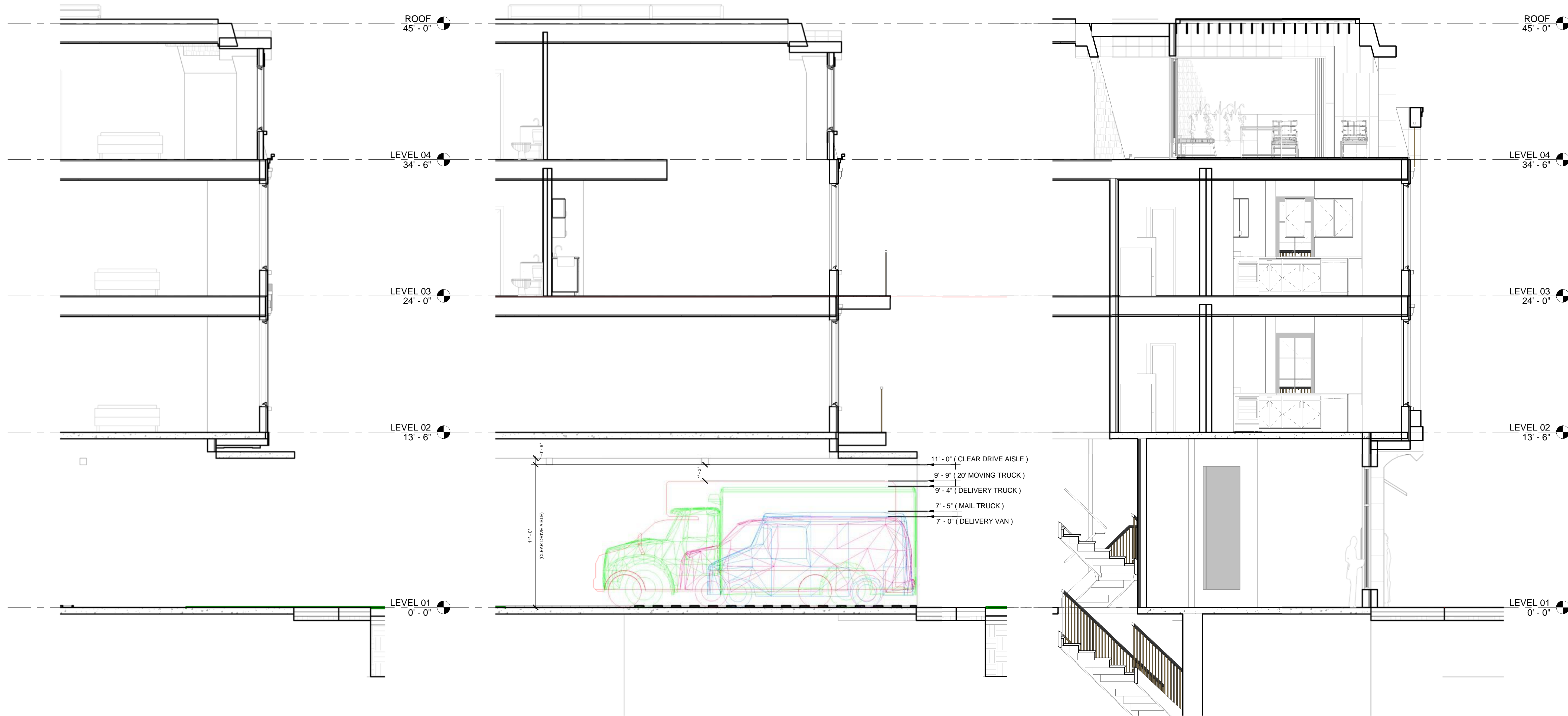
PROJECT NAME
459 MAIN STREET REDEVELOPMENT

PROJECT ADDRESS:
 459 MAIN STREET, READING, MA 01867

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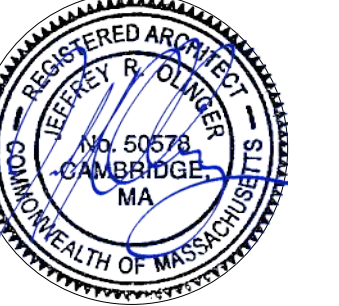


1 A410_MAIN WALL SECTION 01
 1/4" = 1'-0"

2 A410_MAIN WALL SECTION 2
 1/4" = 1'-0"

3 A410_CORNER WALL SECTION
 1/4" = 1'-0"

REGISTRATION



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1	ZONING UPDATE	01/18/2022
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WALL SECTIONS 1

A410

459 MAIN STREET

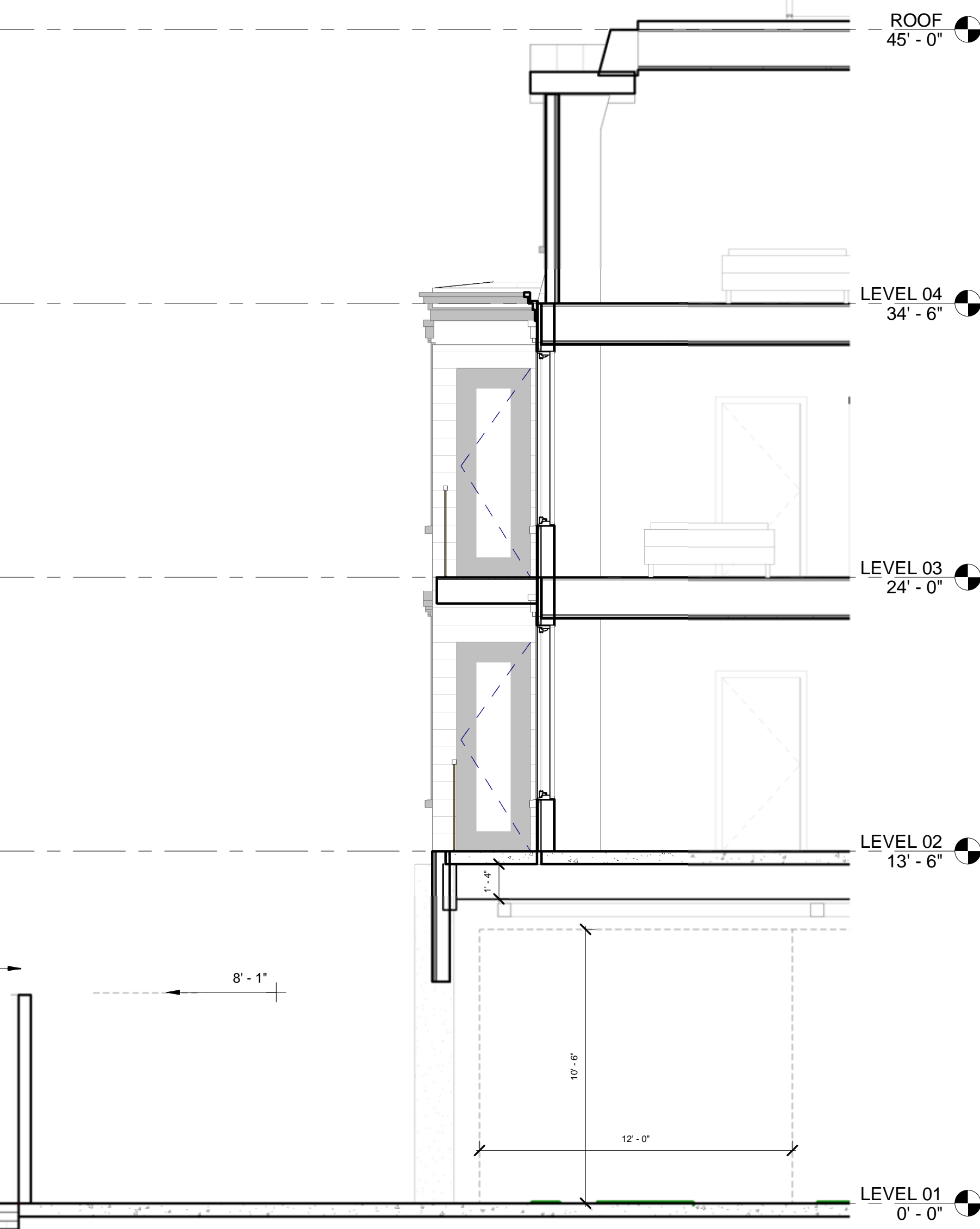
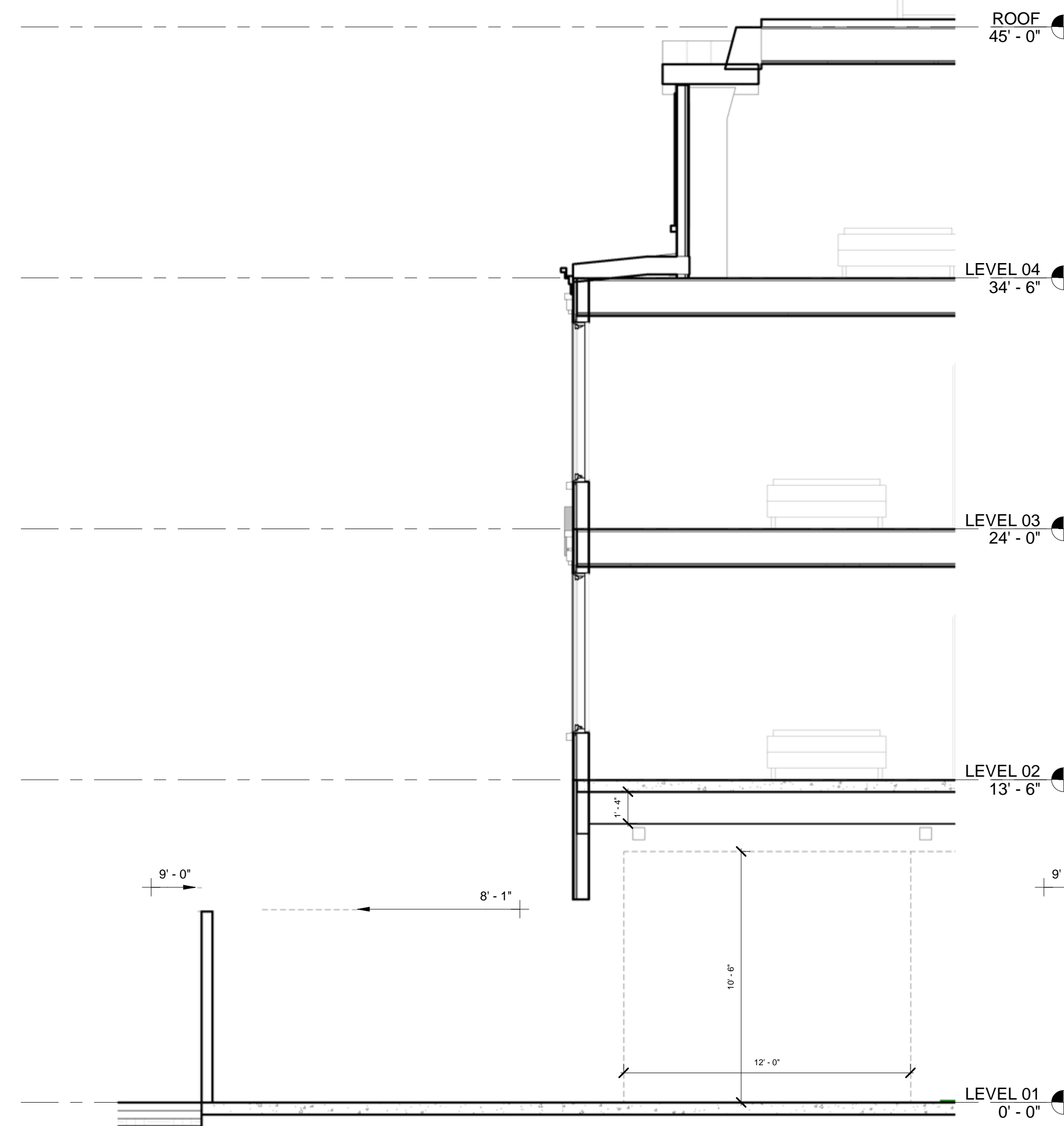
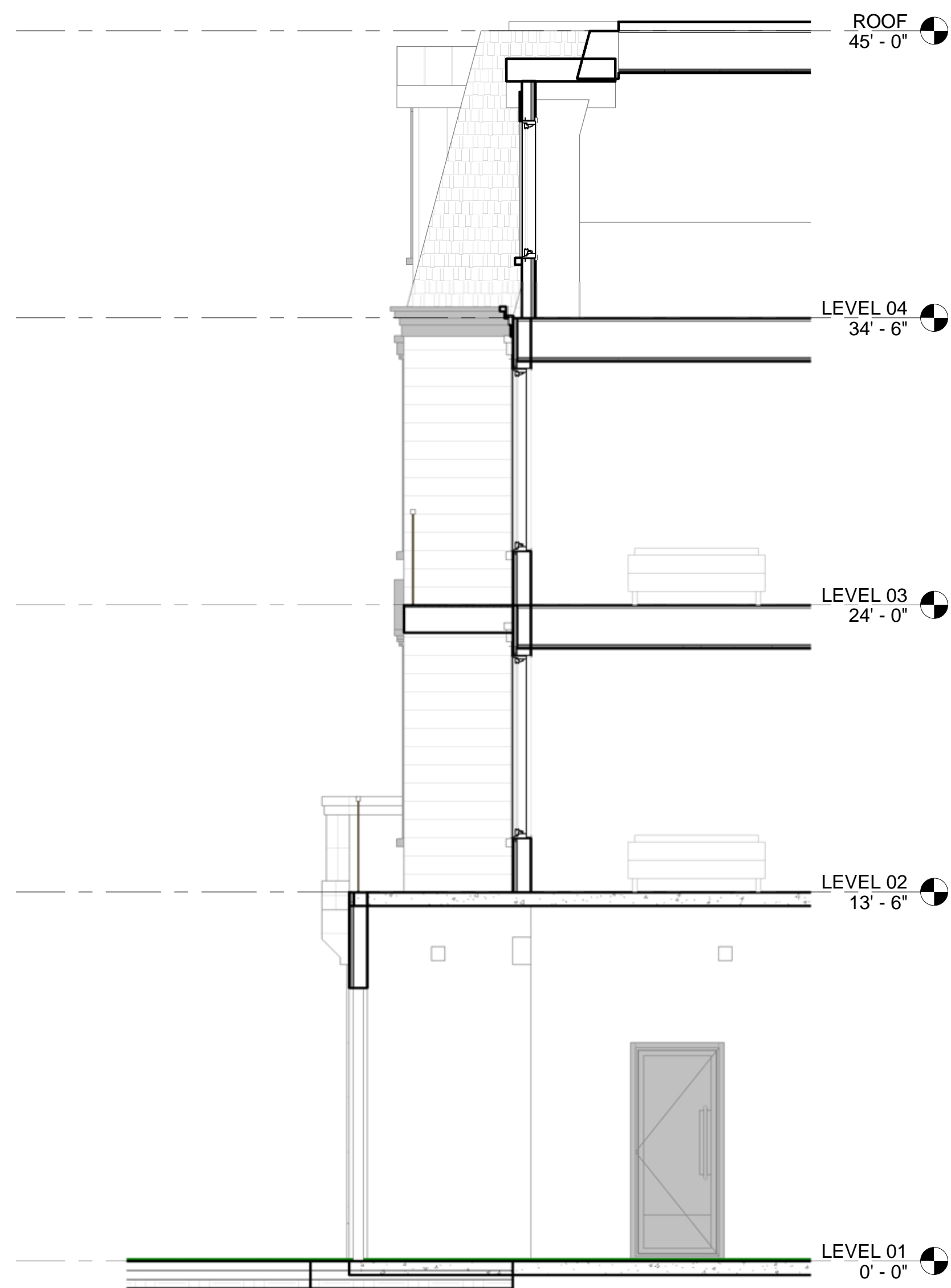
PROJECT NAME
**459 MAIN STREET
 REDEVELOPMENT**

PROJECT ADDRESS:
 459 MAIN STREET, READING,
 MA 01867

APPLICANT
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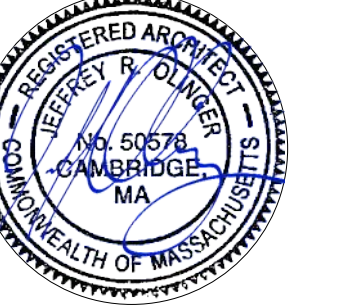


1 A411_GARAGE ENTRANCE WALL SECTION
 1/4" = 1'-0"

2 A411_SIDE YARD WALL SECTION 1
 1/4" = 1'-0"

3 A411_SIDE YARD WALL SECTION 2
 1/4" = 1'-0"

REGISTRATION



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1	ZONING UPDATE	01/18/2022
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WALL SECTIONS 2

A411

459 MAIN STREET

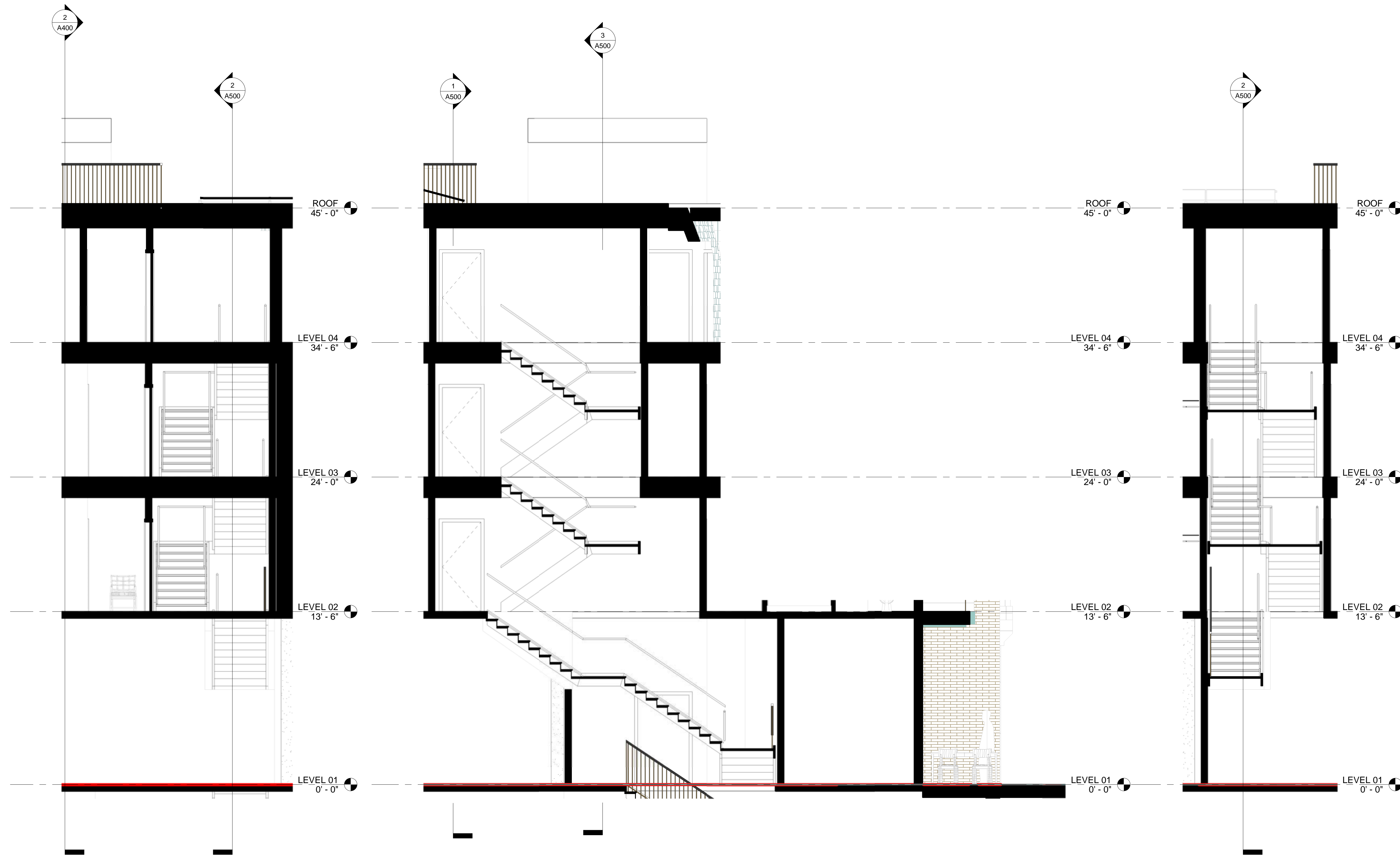
PROJECT NAME
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 MA 01867

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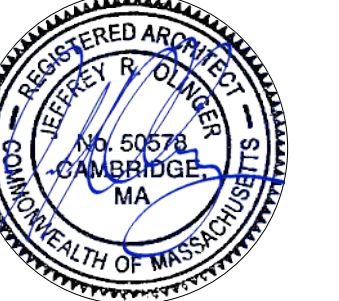


1 A500_STAIR 01 SECTION 03
 1/4" = 1'-0"

2 A500_STAIR 01 SECTION 01
 1/4" = 1'-0"

3 A500_STAIR 01 SECTION 02
 1/4" = 1'-0"

REGISTRATION



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1	ZONING UPDATE	01/18/2022

STAIR 01

A500

459 MAIN STREET

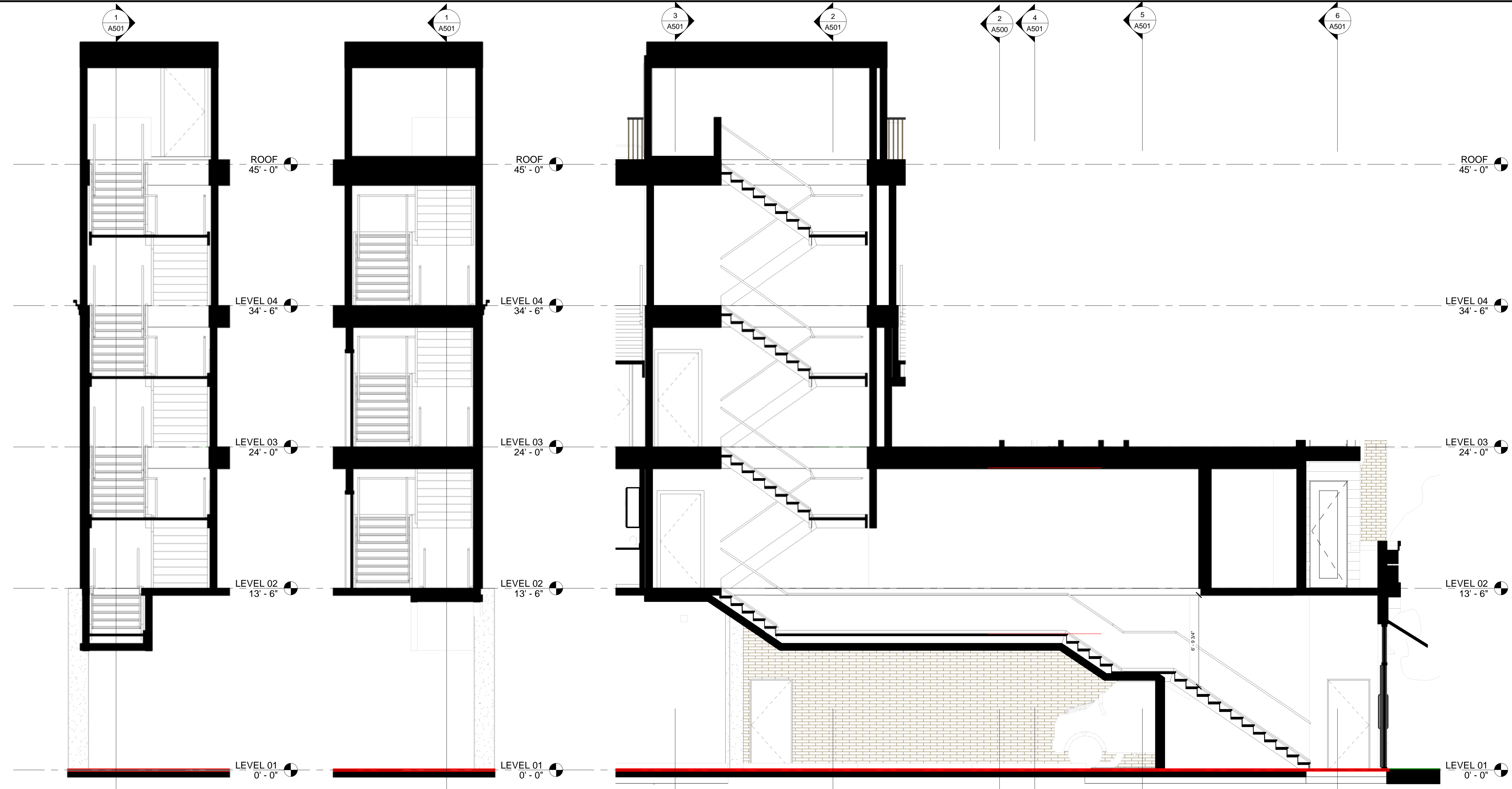
PROJECT NAME
459 MAIN STREET
REDEVELOPMENT

PROJECT ADDRESS:
 459 MAIN STREET, READING,
 MA 01867

APPLICANT
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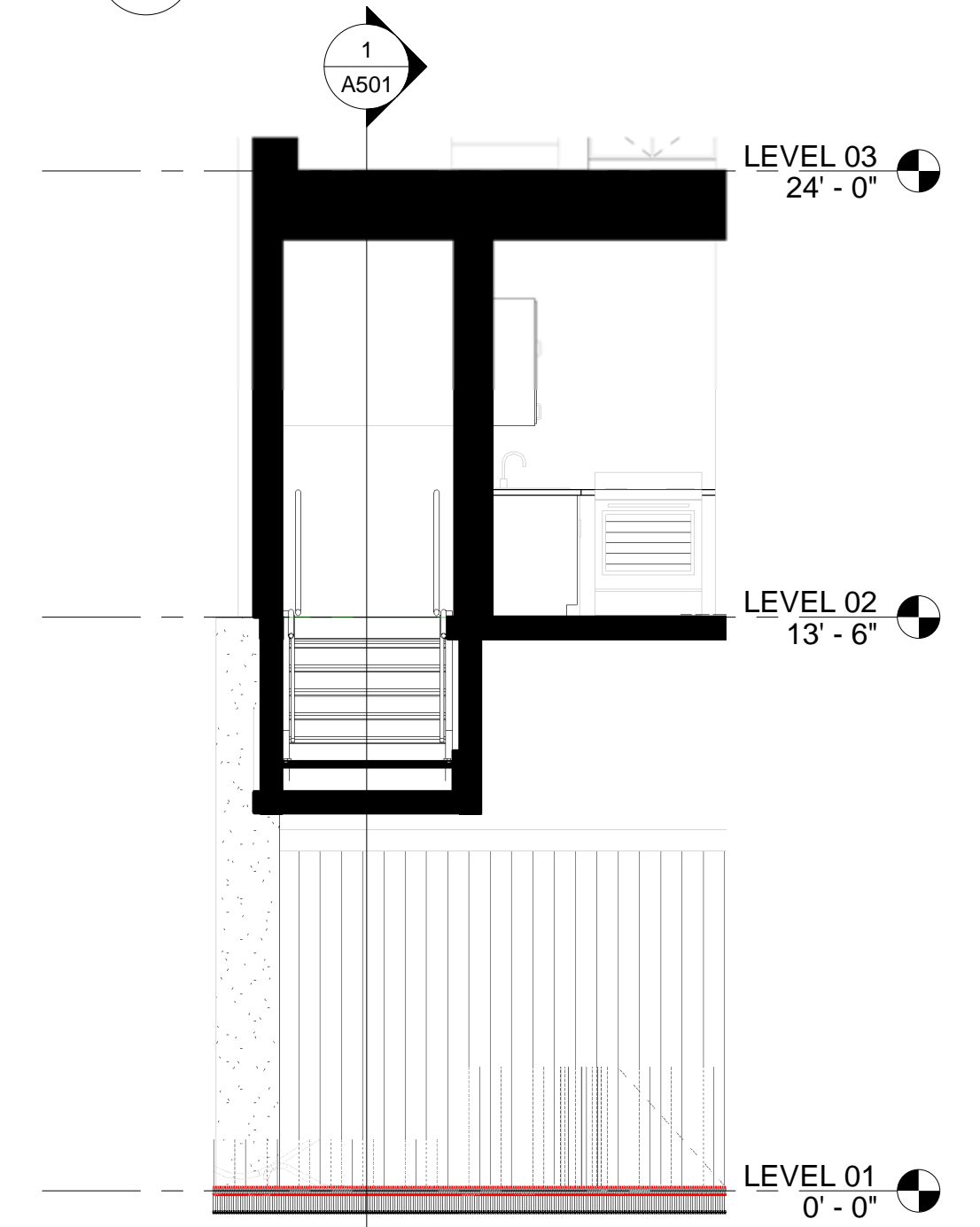
CIVIL ENGINEER
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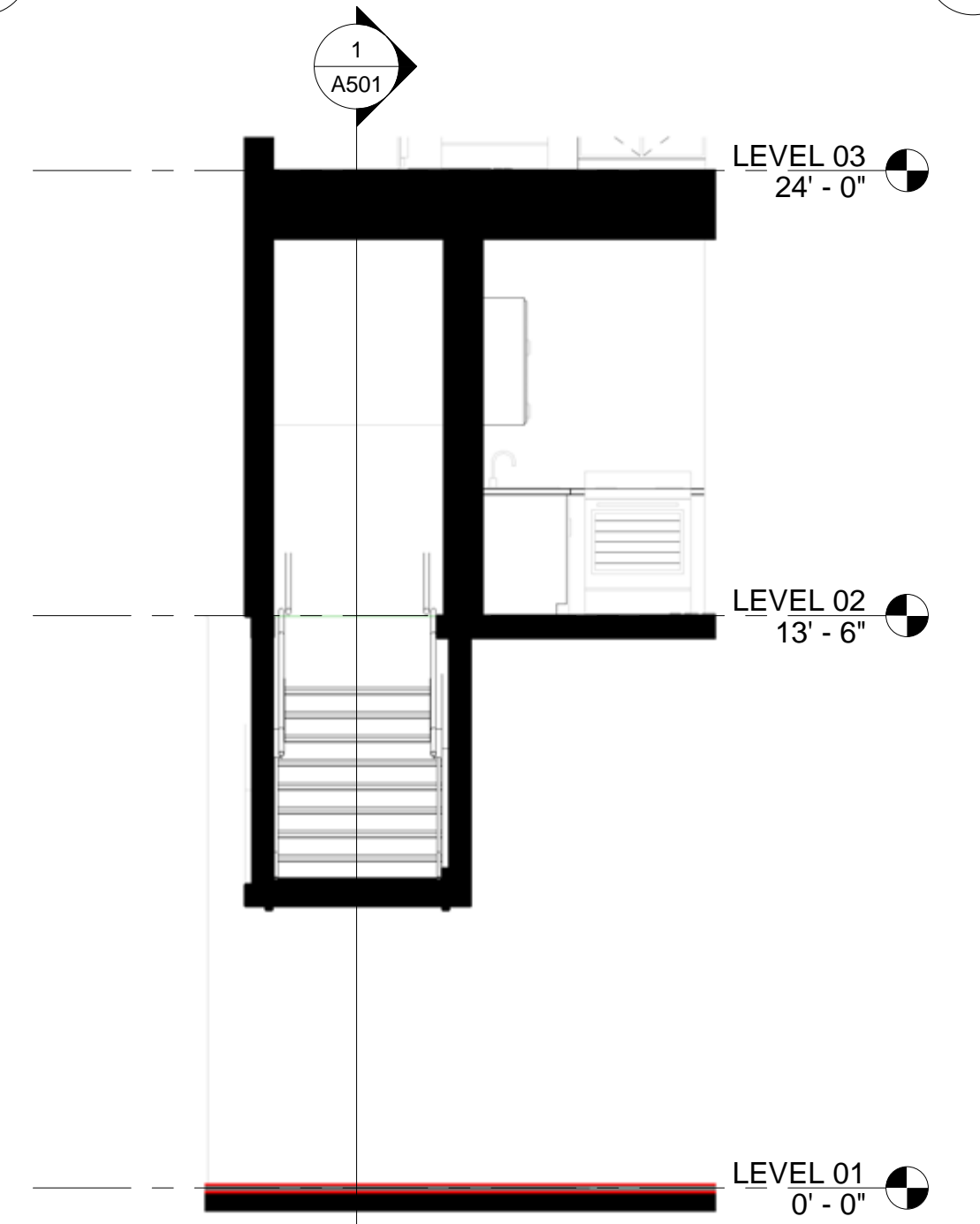
2 A500_STAIR 02 @ LANDING
 1/4" = 1'-0"

3 A500_STAIR 02 @ LEVEL
 1/4" = 1'-0"

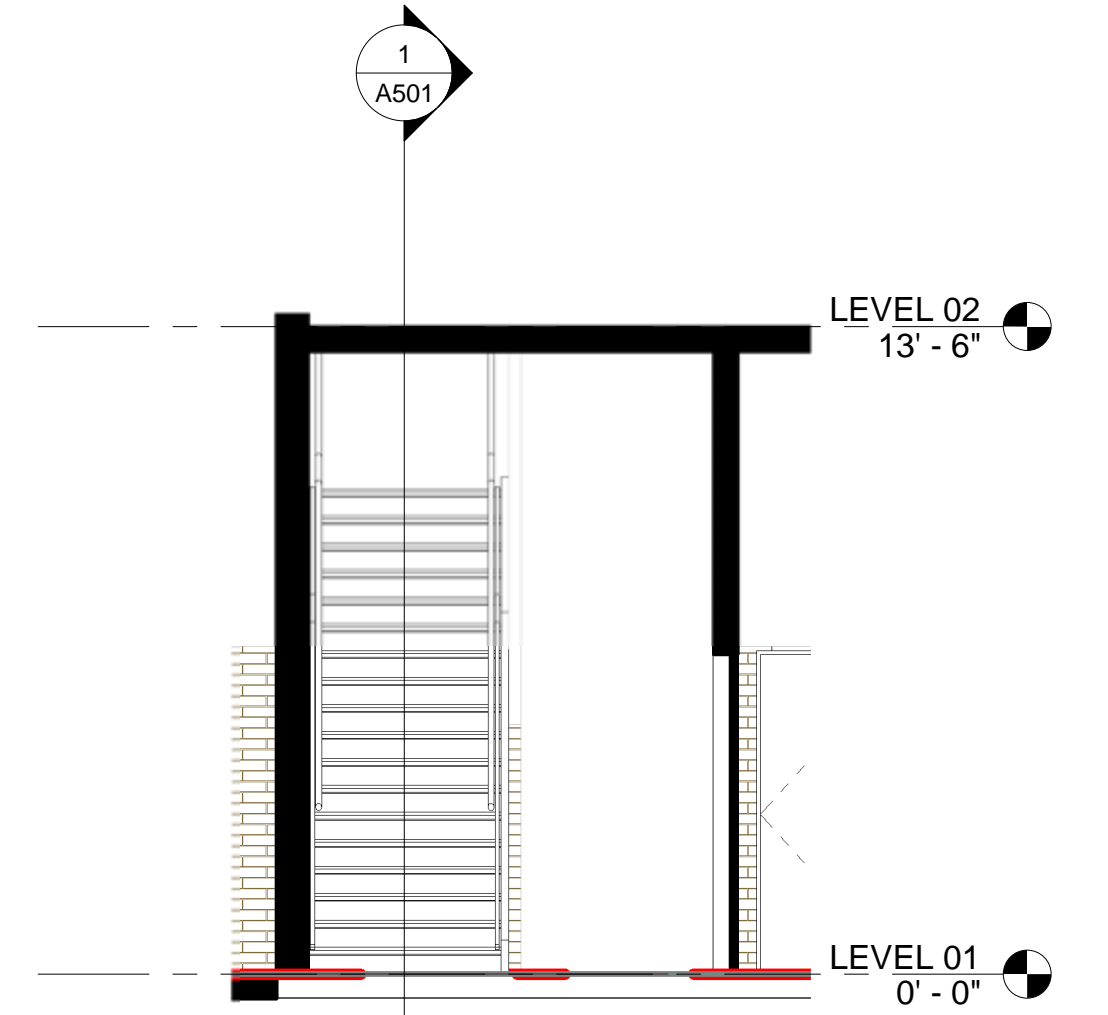
1 A502_STAIR 02 RUN SECTION
 1/4" = 1'-0"



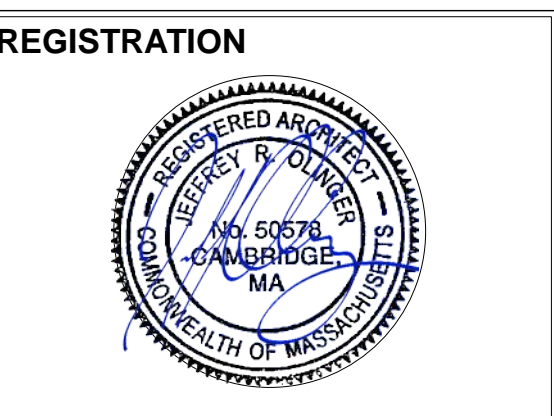
4 A500_STAIR 02 @ HUNG CORRIDOR
 1/4" = 1'-0"



5 A500_STAIR 02 @ HUNG CORRIDOR1
 1/4" = 1'-0"



6 A500_STAIR 02 @ HUNG CORRIDOR2
 1/4" = 1'-0"



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STAIR 02

A501

459 MAIN STREET