

Waiver Requests for Plan Entitled

Proposed Plan of Lots
45 Beacon Street
Prepared by
GA Consultants
March 17, 2022

Mr. Angelo Salamone is asking that certain portions of the Subdivision and the Stormwater Management Regulations be waived so that the proposed two unit project can be approved without excessive costs and time delays. Specifically, Mr. Salamone is asking the following subsections of **Section 7.0 Design Standards** of the Subdivision Regulations be waived

7.1.1 Width and Grade of Ways

7.1.3 Street Cross Section

7.1.5 Dead End Streets/Cul-de-sacs

7.1.7 Curbing

7.2 Sidewalks

Additionally, Mr. Salamone is requesting that the fees required by **Section 3.6 Fees** of the Subdivision Regulations be waived, as well as Subsections **3.6.3.1** and **3.6.4**

Also included here is a request for waiver of fees required by the Stormwater Management and Erosion Control Regulations section **3 PERMIT FEES**, particularly subsection **3.1 Permit Application Fee** and subsection **3.2 Consultant Fee**

Waiver Requests from Sections Subdivision Regulations Design Standards Listed Below

Because the project as proposed consists of only two units of housing and for practical purposes the extension of Beacon Street to provide access is comparable to a driveway and a turnaround for emergency vehicles has been provided and the right of way width of Beacon Street is already laid out we ask that the following sections of the Design Standards be waived.

7.1.1 Width and Grade of Ways

a The width of street rights-of-way shall be sixty (60) feet. Cul-de-sac terminations of street rights-of-way shall consist of a right-of-way circle with a radius of sixty (60) feet, the center of which radius shall coincide with the centerline of the roadway. Where appropriate for the needs of vehicular access and public safety, the CPDC may require a greater right-of-way width or radius.

The current right of way of Beacon Street is only 40 feet and it is not possible to widen it to 60 feet and request that the right of way width be waiver to 40 feet

b Grades of all streets shall be the reasonable minimum, but not less than one percent (1%) nor more than six percent (6%) for principal streets, nor more than ten percent (10%) for minor streets. General slope of grades at all intersections shall be a maximum of two (2) % percent for a distance of at least

sixty-four (64) feet from beginning of intersection. Proposed roads shall have a slight negative grade when intersecting with existing roads at or within 50 feet of the beginning of the intersection.

Because of the steepness of the land and the existing street the 2% requirement cannot be met and the negative slope requirement cannot be met.

7.1.3 Street Cross Section

The following shall be the minimum provided for streets. The Commission may require additional lanes, widths, and other dimensions where the use requires such increases. Cross sections shall conform to Figure 1, "Typical Cross Section for a Sixty-Foot Street", in the Appendix.

a At least a 30 foot travel way completely paved and uniformly graded from the crown of the roadway to the granite curbing at three-eighths of an inch (3/8") per foot;

b The dimensions of the roadway, curbing, tree lawns, and sidewalks shall conform to the cross section shown in Figure 1;

It is requested that the roadway width be limited to 20 feet and curbing and sidewalks be eliminated

7.1.5 Dead End Streets/Cul-de-sacs

c Those dead end ways which shall eventually carry traffic to another way shall have a temporary turning circle having an outside pavement radius of not less than forty-five (45) feet.

It is requested that the turning circle in the cul-de-sac be waived

e An island within the cul-de-sac shall be required; it shall have a maximum outside radius of twenty (20) feet.

7.1.7 Curbing

a Vertical granite curb shall be used throughout the subdivision. It shall be Type VA-4 as defined in the 1988 Commonwealth of Massachusetts Department of Public Works "Standard Specifications for Highways and Bridges."

b Granite curb inlets shall be provided at all catch basins.

c Granite curb corners (Type B) shall be provided at all driveways.

d Granite transition curb shall be provided at all wheelchair ramps

It is requested that curbing be waived

7.2 Sidewalks

a Sidewalks shall be constructed on both sides of the street. Bituminous concrete shall be used in all areas of Town except for the area generally bounded by Lowell, Salem, John, Washington, Willow, Summer and Prescott Streets (see figure 2, "Area Requiring Cement Concrete Sidewalks") where cement concrete sidewalks shall be used.

It is requested that sidewalks be waived

Waiver Request of Fees listed below as Required by the Subdivision Regulations and the Stormwater Management and Erosion Control Regulations.

The waiver of fees is being requested because this project is a plan developed as a compromise with the Town to reduce a project from a previously approved ten unit project to a two unit project. The review of this two unit project can easily be done by the Engineering Department of the Town and outside consultants are not needed. While the project will incorporate appropriate Stormwater Management Practices and Erosion Control, review of such a small project by an outside consultant would place undue expenses on the proponent. This is especially true when considering that the MassDEP only requires Stormwater Best Management Practices to be applied to projects of four units or greater and only when a project is within or discharges 100 feet of a wetland resource area.

Sections of the Subdivision Regulations

3.6 Fees

Application and Inspection Fees as described below shall be payable to the Town of Reading, by certified check only, at the time of filing of a subdivision plan pursuant to these Regulations. Any application not accompanied by the appropriate fee payment at the time of application shall be considered improper and incomplete in accordance with Section 3.7. hereof. No fees are refundable in whole or in part under any circumstances.

3.6.3.1 In cases where no Preliminary Subdivision Plan had been filed \$500.00 plus \$30.00 per lot shown on the plan

3.6.4 Review Costs

In addition to all other fees and charges specified herein, if the Commission in the course of review of an application, determines in its sole and absolute discretion that review of all or any part of a proposed project by (an) outside independent consultant(s) of the Commission's sole choosing is necessary for proper evaluation of the proposed project or its possible effects on any matter of public interest under the jurisdiction of the Subdivision Control Law, then the applicant shall provide immediately to the Town, by way of the Town Planner, (a) certified check(s) payable to such consultant(s) in an amount equal to the estimated cost of the relevant services of such consultant(s). No Building Permit or Certificate of Occupancy shall be issued for said project until all such review fees that may be so imposed have been paid in full.

Sections of the Stormwater Management and Erosion Control Regulations

3 PERMIT FEES

3.1 Permit Application Fee

3.1.1 Each Application shall be accompanied by the appropriate Permit Application Fee as set forth in the Stormwater Permit Fee Schedule promulgated by the CPDC. The Permit Application Fee is non-refundable.

3.2 Consultant Fee

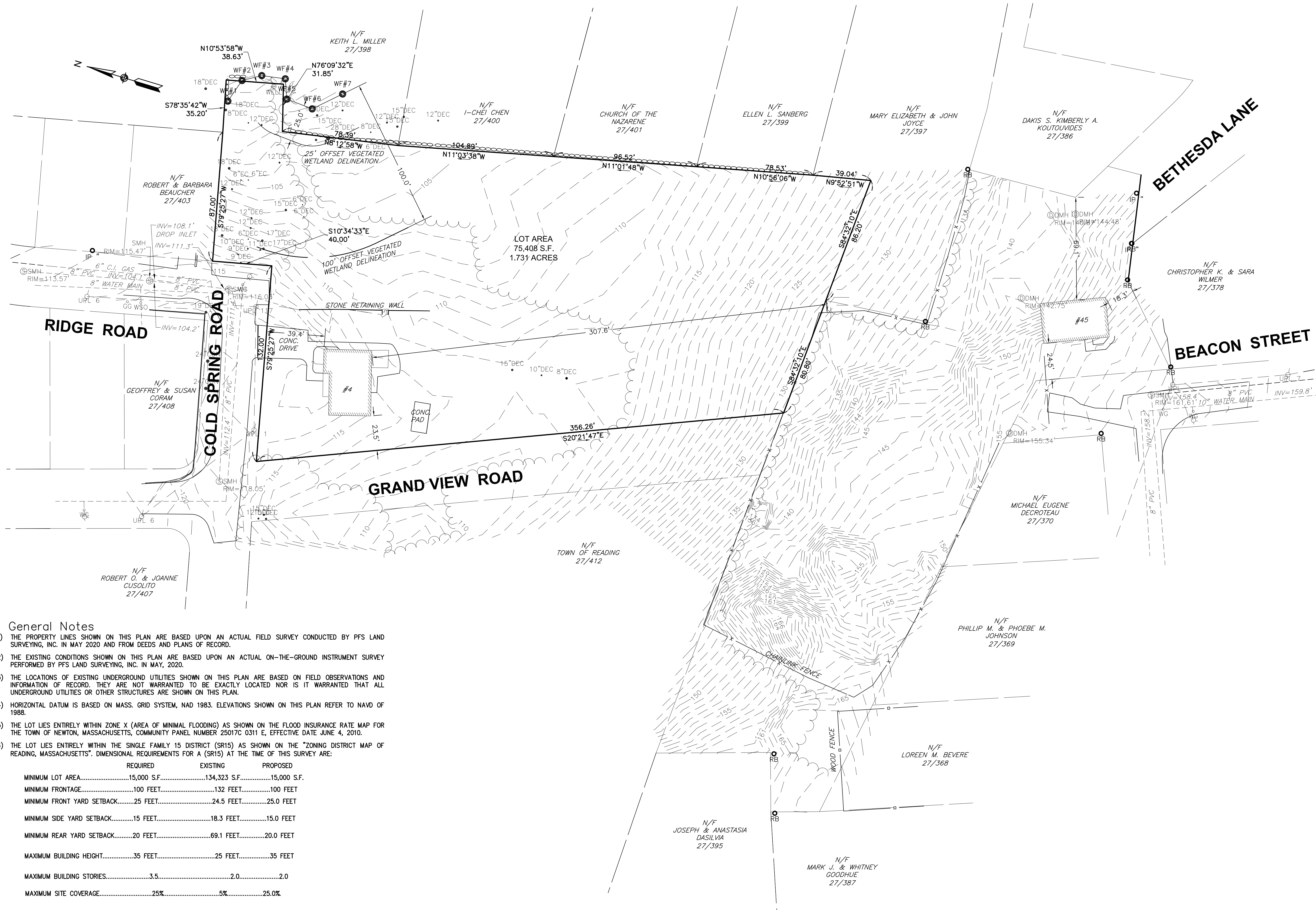
3.2.1 Pursuant to Section 7.9.5.6 of the Bylaw and Chapter 44, Section 53G of the Massachusetts General Laws, each Stormwater Permit Application may also be subject to a Consultant Fee, which will be determined after an administratively complete Application is received by the Planning Division.

3.2.2 Determination of Need for Consultant Review, Selection of Consultant and Determination of Initial Consultant Fee

It is requested that as part of the settlement all fees and the requirement of an outside consultant be waived

LEGEND

- ⊕ BM # BENCHMARK
- ▣ BOUND (CONC. STONE, LAND COURT, ETC.)
- ▣ CB CATCH BASIN - SQUARE
- ⊕ CB CATCH BASIN - ROUND
- ⊙ DSK DISK (CAVT. USC&GS, LAND COURT, ETC.)
- ⊙ DH DRILL HOLE
- ⊙ DMH DRAIN MANHOLE
- ⊙ EHH ELECTRIC HANDHOLE
- ⊙ EM ELECTRIC MANHOLE
- ⊙ EM ELECTRIC METER
- ⊙ GG GAS GATE
- ⊙ GM GAS METER
- ♿ HANDICAP SYMBOL
- ⊙ GUY WIRE ANCHOR
- ⊙ FIRE HYDRANT
- ☀ LIGHT
- OHW OVERHEAD WIRE
- ⊙ MAG MAG NAIL
- ⊙ MB MAIL BOX
- ⊙ OTHER MANHOLE
- ⊙ PB PULL BOX
- ⊙ PED PEDESTRIAN SIGNAL
- ⊙ SEWER MANHOLE
- ⊙ TELEPHONE MANHOLE
- ⊙ TRANSFORMER
- ⊙ # OF PARKING SPACES
- ⊙ TS TRAFFIC SIGNAL
- ⊙ TS TRAFFIC SIGNAL MAST ARM/SPAN WIRE POLE SIGN
- ⊙ ULT# UTILITY POLE W/LIGHT
- ⊙ UPL# UTILITY POLE
- ⊙ WG WATER GATE
- ⊙ WSO WATER SHUTOFF
- CHAIN LINK FENCE
- WOOD FENCE



General Notes

- 1) THE PROPERTY LINES SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL FIELD SURVEY CONDUCTED BY PFS LAND SURVEYING, INC. IN MAY 2020 AND FROM DEEDS AND PLANS OF RECORD.
- 2) THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON AN ACTUAL ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY PFS LAND SURVEYING, INC. IN MAY, 2020.
- 3) THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON FIELD OBSERVATIONS AND INFORMATION OF RECORD. THEY ARE NOT WARRANTED TO BE EXACTLY LOCATED NOR IS IT WARRANTED THAT ALL UNDERGROUND UTILITIES OR OTHER STRUCTURES ARE SHOWN ON THIS PLAN.
- 4) HORIZONTAL DATUM IS BASED ON MASS. GRID SYSTEM, NAD 1983. ELEVATIONS SHOWN ON THIS PLAN REFER TO NAVD OF 1988.
- 5) THE LOT LIES ENTIRELY WITHIN ZONE X (AREA OF MINIMAL FLOODING) AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR THE TOWN OF NEWTON, MASSACHUSETTS, COMMUNITY PANEL NUMBER 25017C 0311 E, EFFECTIVE DATE JUNE 4, 2010.
- 6) THE LOT LIES ENTIRELY WITHIN THE SINGLE FAMILY 15 DISTRICT (SR15) AS SHOWN ON THE "ZONING DISTRICT MAP OF READING, MASSACHUSETTS". DIMENSIONAL REQUIREMENTS FOR A (SR15) AT THE TIME OF THIS SURVEY ARE:

	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA.....	15,000 S.F.	134,323 S.F.	15,000 S.F.
MINIMUM FRONTAGE.....	100 FEET	132 FEET	100 FEET
MINIMUM FRONT YARD SETBACK.....	25 FEET	24.5 FEET	25.0 FEET
MINIMUM SIDE YARD SETBACK.....	15 FEET	18.3 FEET	15.0 FEET
MINIMUM REAR YARD SETBACK.....	20 FEET	69.1 FEET	20.0 FEET
MAXIMUM BUILDING HEIGHT.....	35 FEET	25 FEET	35 FEET
MAXIMUM BUILDING STORIES.....	3.5	2.0	2.0
MAXIMUM SITE COVERAGE.....	25%	5%	25.0%

- 7) THE WETLANDS SHOWN HEREON WERE FLAGGED BY LEC ENVIRONMENTAL IN JUNE 2020 AND LOCATED BY PFS LAND SURVEYING INC, IN JUNE 2020.

No.	Revision	Date	Apprv.
2	added tree locations in buffer zone	2-04-2021	BGP
1	updated well location	12-09-2020	BGP

Designed by BGP Drawn by BGP Checked by BGP
 CAD checked by BGP Approved by BGP
 Scale 1"=30' Date 7/8/2020

Existing Conditions
 4 Cold Spring Rd
 Reading, MA

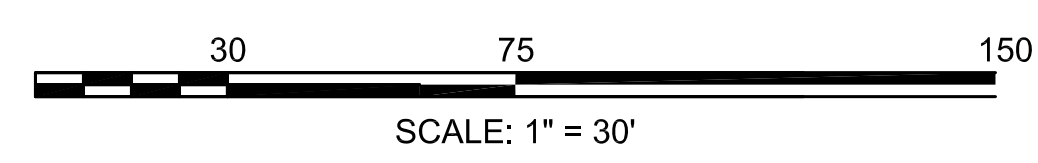
Issued for
 Review

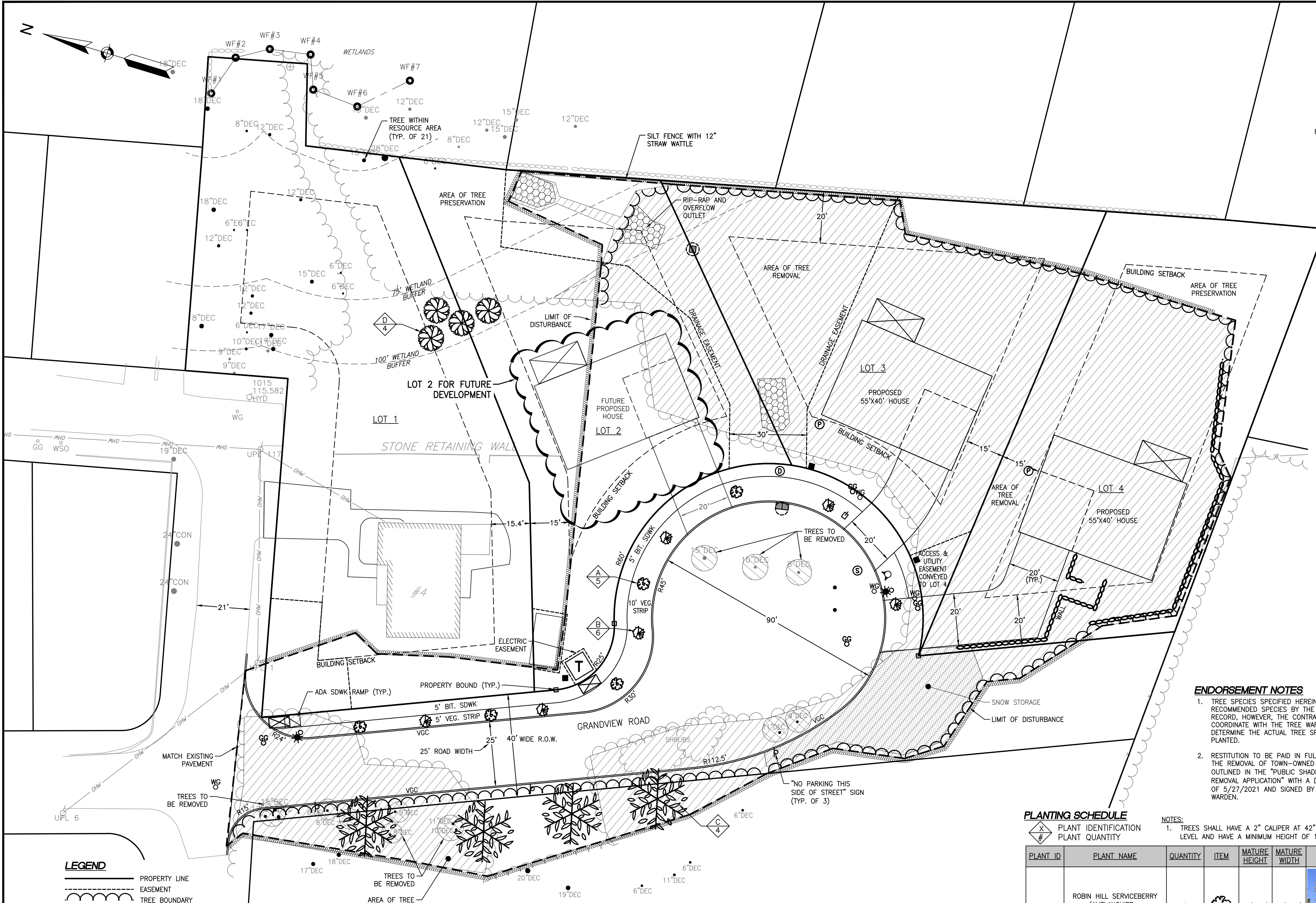
Drawing Title
Existing Conditions
Plan of Land

Drawing Number
SV-1

Sheet
 1 of 1

Project Number





- LEGEND**
- PROPERTY LINE
 - - - EASEMENT
 - TREE BOUNDARY
 - SNOW STORAGE AREA
 - RIP-RAP
 - TREE REMOVAL AREA
 - RETAINING WALL
 - BUILDING SETBACK
 - LIMIT OF DISTURBANCE
 - WETLAND BOUNDARY
 - WETLAND BUFFER
 - WF# WETLAND FLAG
 - VGC VERTICAL GRANITE CURB
 - MB MAILBOX
 - SP SEWER PUMP
 - FM FORCE MAIN FLUSHING GATE
 - FS FORCE SERVICE BALL VALVE
 - CB CATCH BASIN
 - DMH DRAIN MANHOLE
 - OOS OVERFLOW OUTLET STRUCTURE
 - WG WATER VALVE
 - GS GAS VALVE
 - T ELECTRIC TRANSFORMER & EASEMENT
 - ES ELECTRIC SERVICE PULLBOX
 - EM ELECTRIC MANHOLE

TREE PRESERVATION CALCULATIONS

	LOT 1	LOT 2	LOT 3	LOT 4	Grand View Rd.	TOTALS
LOT AREA, S.F.	22,112	15,002	15,026	15,104	22,164	89,408
NEW IMPERVIOUS, S.F.	0	2,388	2,526	2,998	12,572	23,549
SUM: OPEN SPACE, S.F.	**19,047	12,614	12,500	12,106	9,592	65,859
**REQUIRED # OF TREES	10	7	7	7	N/A	31
AREA OF TREE REMOVAL, S.F.	0	3,605	13,325	11,140	6,217	34,287
AREA OF TREE PRESERVED, S.F.	7,948	3,260	1,590	3,970	2,832	19,600
**ESTIMATED # OF TREES PRESERVED	20	14	7	17	12	70

TREE INVENTORY WITHIN WETLAND BUFFER ZONE

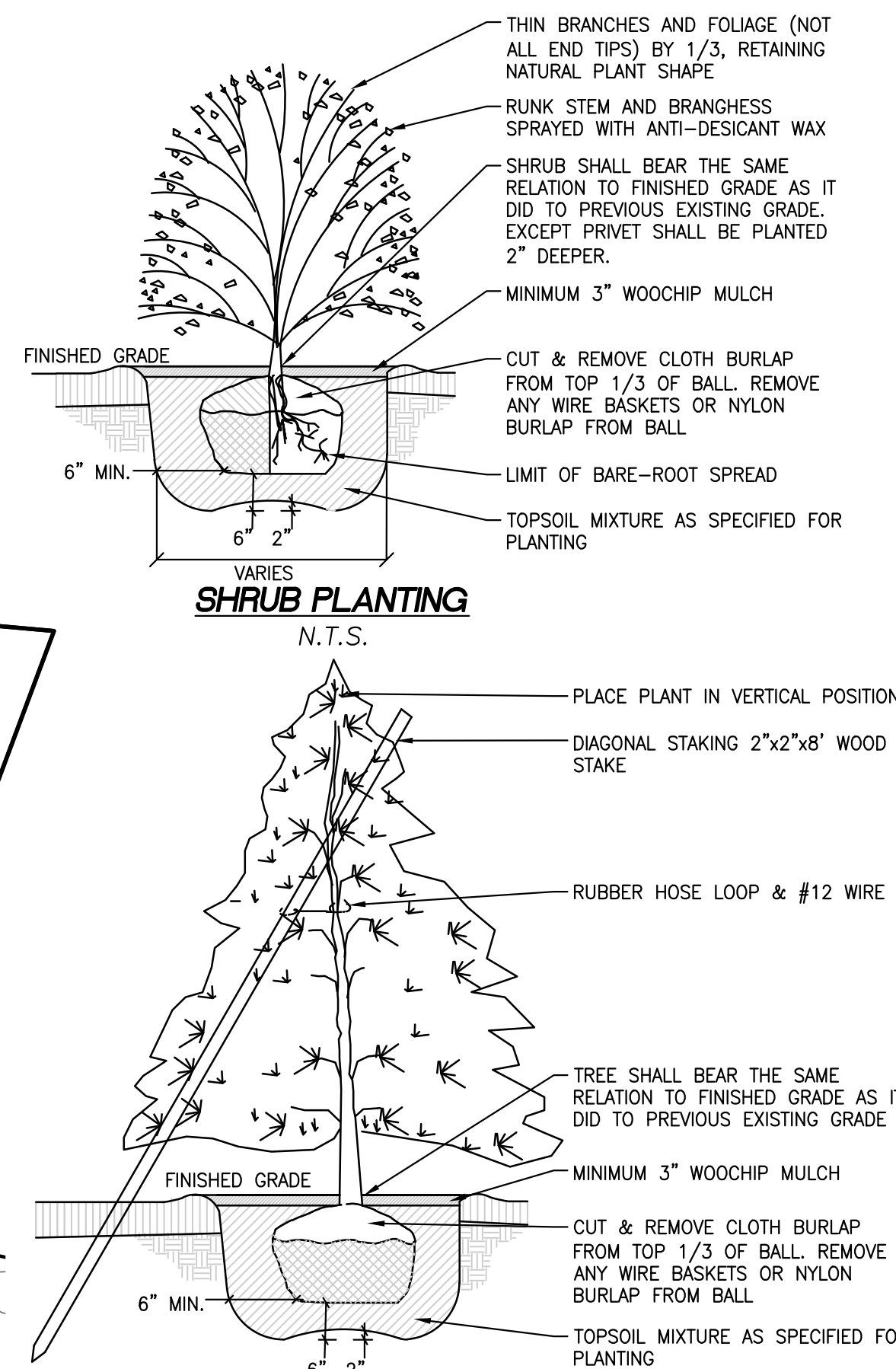
	TREE COUNT
EXISTING TREE COUNT	21
TREES TO BE REMOVED	0
TOTAL TREES TO REMAIN	21

PERMANENT GRASS SEED MIX	SEED, POUNDS PER 1,000 S.F.
LITTLE BLUESTEM OR BROOMSEDGE	0.25
TUMBLE LOVEGRASS	0.10
SWITCHGRASS	0.10
BUSH CLOVER	0.10
RED TOP	0.10

PLANTING SCHEDULE

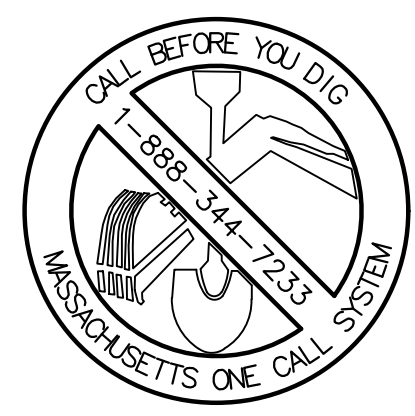
PLANT ID	PLANT NAME	QUANTITY	ITEM	MATURE HEIGHT	MATURE WIDTH	IMAGE
A	ROBIN HILL SERVICEBERRY (AMELANCHIER x GRANDIFLORA 'ROBIN HILL')	5		15'-25'	12'-15'	
B	GOLDSPIRE GINKGO (GINKGO BILOBA 'GOLDSPIRE')	6		15'	5'-6'	
*C	SUGAR MAPLE TREE (ACER SACCHARUM)	4		60'-75'	40'-50'	
D	HIGHBUSH BLUEBERRY (VACCINIUM CORYMBOSUM)	4		6'-12'	8'-12'	

NOTES:
1. TREES SHALL HAVE A 2" CALIPER AT 42" FROM GROUND LEVEL AND HAVE A MINIMUM HEIGHT OF 12'.
* TREE SPECIES TO BE REPLANTED IN TOWN OWNED PROPERTY SHALL BE APPROVED BY THE TREE WARDEN.



- GENERAL NOTES**
- ALL PLANT STOCK SHALL CONFORM TO ANSI Z260.1 - NURSERY STOCK, LATEST EDITION (AMERICAN ASSOCIATION OF NURSERYMEN, INC.).
 - NO TREES OR SHRUBS SHALL BE PLANTED AT THE STREET INTERSECTION WHERE THEY COULD BECOME A TRAFFIC HAZARD BY OBSTRUCTING VISION.
 - ALL TREES SHALL BE GUARANTEED BY THE DEVELOPER FOR THEIR ERRECTNESS AND GOOD HEALTH FOR TWO (2) YEARS AFTER PLANTING.
 - ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE LOAMED AND SEEDED. LOAM DEPTH SHALL BE A MINIMUM OF 4 INCHES. ALL LOAM PLACED SHALL BE pH CORRECTED AND FREE OF CLODS, LUMPS, STONES AND OTHER DELETERIOUS MATERIAL.
 - ANY DEAD VEGETATION SHALL BE REMOVED IMMEDIATELY AND REPLACED IN ACCORDANCE WITH THE SPECIFICATION ON PLAN.
 - OWNER SHALL MAINTAIN LANDSCAPE PLANTINGS TO ENSURE THE AESTHETIC APPEARANCE AND OVERALL PLANT HEALTHINESS IS RETAINED. THIS INCLUDES INSPECTING AND REPLACING PLANTINGS AS NECESSARY, WEEKLY MOWING AND MULCHING.
 - AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE.
 - ANY DAMAGE TO PUBLIC OR PRIVATE PROPERTY RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR AT THEIR EXPENSE.
 - THE CONSTRUCTION SITE SHALL BE SECURED IN A MANNER SO AS TO PREVENT INJURY OR PROPERTY DAMAGE TO THE RESIDENTS OF THE TOWN.
 - AN APPROVED SITE AS-BUILT SHALL BE SUBMITTED TO THE ENGINEERING DIVISION WITHIN 60 DAYS OF CERTIFICATE OF OCCUPANCY. THE AS-BUILT SHALL BE SUBMITTED IN MYLAR AND ELECTRONIC ACAD FORMAT.

- ENDORSEMENT NOTES**
- TREE SPECIES SPECIFIED HEREIN ARE SIMPLY RECOMMENDED SPECIES BY THE ENGINEER OF RECORD, HOWEVER, THE CONTRACTOR SHALL COORDINATE WITH THE TREE WARDEN TO DETERMINE THE ACTUAL TREE SPECIES TO BE PLANTED.
 - RESTITUTION TO BE PAID IN FULL PRIOR TO THE REMOVAL OF TOWN-OWNED TREES AS OUTLINED IN THE "PUBLIC SHADE TREE REMOVAL APPLICATION" WITH A DATE OF ACTION OF 5/27/2021 AND SIGNED BY THE TREE WARDEN.



REVISION	DATE	BY

PROJECT LOCATION:
LOTS 2, 3, & 4
GRANDVIEW ROAD
READING, MA 01867
PARCEL ID:
MAP 27, LOT 404

PLAN SET:
**MAJOR SITE PLAN MODIFICATION
GRANDVIEW ROAD SUBDIVISION - PRIVATE WAY
(GRANDVIEW ROAD EXTENSION)**
SITE PLAN PERMIT SET

SCALE: 1" = 20'
APRIL 20, 2023

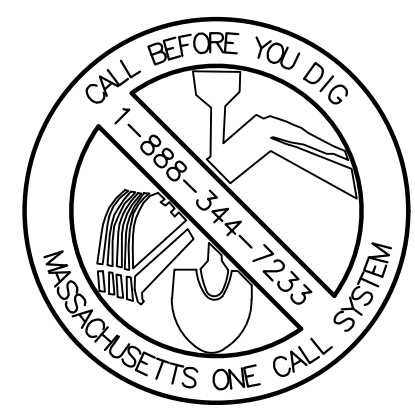
TOWN OF READING
COMMUNITY PLANNING & DEVELOPMENT COMMISSION
DATE: _____
FOR REGISTRY USE ONLY

ENGINEER: **FODERA ENGINEERING**
SURVEYOR: **PFS Land Surveying, Inc.**
(617) 877-3293
gfodera@foderaengineering.com
28 Harbor St., Suite 204
Danvers, MA 01923
www.pfsland.com

PROFESSIONAL SEAL: GIOVANNI GAETANO FODERA, No. 54884, REGISTERED PROFESSIONAL ENGINEER

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JOB NO.: 20160-149
SHEET TITLE: **SITE AND TREE PRESERVATION**
SHEET NUMBER: **C-2**



EARTHWORK VOLUME CALCULATIONS

APPROXIMATE OVERALL CUT & FILL ANALYSIS	
CUT VOLUME, BCY	±2,516 CY
FILL VOLUME, BCY	±1,607 CY
NET VOLUME, BCY (CUT)	±909 CF

NOTE: A MORE DETAILED ANALYSIS SHALL BE PERFORMED BY THE CONTRACTOR.

LEGEND

- PROPERTY LINE
- TREE BOUNDARY
- MAJOR CONTOUR
- MINOR CONTOUR
- STONE ENTRANCE BOUNDARY
- TEMPORARY DESIGNATED AREAS
- LIMIT OF DISTURBANCE
- EROSION CONTROL BARRIER
- WETLAND BOUNDARY
- WETLAND BUFFER
- AREA OF MINIMUM 16" TOPSOIL STRIP
- WETLAND FLAG
- VERTICAL GRANITE CURB
- WF#
- VGC

- EROSION CONTROL NOTES**
- PRIOR TO COMMENCING LAND DISTURBANCE ACTIVITY THE LIMITS OF LAND DISTURBANCE SHALL BE CLEARLY AND ACCURATELY DEMARCATED WITH STAKES, RIBBONS, OR OTHER APPROPRIATE MEANS.
 - INSTALL SEDIMENTATION AND EROSION CONTROL MEASURES PRIOR TO CLEARING GRADING AND DEMOLITION WORK. MAINTAIN ALL SEDIMENT AND EROSION CONTROL, AND TREE PROTECTION MEASURES UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
 - ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE SUBJECT TO FIELD MODIFICATIONS AT THE DIRECTION OF THE TOWN'S DPW ENGINEERING DEPARTMENT.
 - PRIOR TO ANY OTHER CONSTRUCTION, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT EACH ENTRY TO OR EXIT FROM THE SITE. CONSTRUCTION SHALL MAINTAIN CONSTRUCTION ENTRANCE UNTIL SITE PAVING IS COMPLETE.
 - INLET PROTECTIONS SHALL BE INSTALLED ON ALL EXISTING CATCH BASINS AS INDICATED ON THE PLAN, AND IMMEDIATELY AFTER THE INSTALLATION OF ALL NEWLY INSTALLED INLETS.
 - THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO THE ACCESSING ROADWAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH STONE, AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN-OUT OF ANY STRUCTURES USED TO TRAP SEDIMENT. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED BY VEHICLE OFF-SITE ONTO THE ROADWAY OR INTO STORM DRAINS MUST BE REMOVED.
 - IMMEDIATELY AFTER THE ESTABLISHMENT OF CONSTRUCTION ENTRANCES/EXITS, ALL PERIMETER EROSION CONTROL DEVICES AND STORM WATER MANAGEMENT DEVICES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
 - ADD EROSION BARRIER AROUND PERIMETER OF PROPOSED RECHARGE AREA IF THE EXCAVATED PIT WILL REMAIN EXPOSED FOR MORE THAN TWO (2) DAYS, WEATHER PERMITTING. THE EXCAVATED PIT SHALL BE CLEAN OF ALL SEDIMENT.
 - EROSION CONTROL DEVICES SHALL BE INSTALLED BEFORE GROUND DISTURBANCE OCCURS. THE LOCATION OF SOME OF THE EROSION CONTROL DEVICES MAY HAVE TO BE ALTERED FROM THAT SHOWN ON THE APPROVED PLANS IF DRAINAGE PATTERNS DURING CONSTRUCTION ARE DIFFERENT FROM THE FINAL PROPOSED DRAINAGE PATTERNS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH EROSION CONTROL FOR ALL DRAINAGE PATTERNS CREATED AT VARIOUS STAGES DURING CONSTRUCTION. ANY DIFFICULTY IN CONTROLLING EROSION DURING ANY PHASE OF CONSTRUCTION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
 - THE CONSTRUCTION OF THE SITE WILL INITIATE WITH THE INSTALLATION OF EROSION CONTROL MEASURES SUFFICIENT TO CONTROL SEDIMENT DEPOSITS AND EROSION. ALL SEDIMENT CONTROL WILL BE MAINTAINED UNTIL ALL UPSTREAM GROUND WITHIN THE CONSTRUCTION AREA HAS BEEN COMPLETELY STABILIZED WITH PERMANENT VEGETATION AND ALL ROADS/DRIVES HAVE BEEN PAVED.
 - THE CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES WHILE IMPROVEMENTS ARE BEING MADE. TRAFFIC CONTROL MEASURES TO BE IN ACCORDANCE WITH LOCAL REGULATIONS AND OR MASSDOT.
 - ALL SILT BARRIERS MUST BE PLACED AS ACCESS IS OBTAINED DURING CLEARING. NO GRADING SHALL BE DONE UNTIL SILT BARRIER INSTALLATION AND DETENTION FACILITIES, IF REQUIRED, ARE CONSTRUCTED.
 - CONTRACTOR SHALL PERFORM EROSION CONTROL INSPECTIONS REGULARLY AND IMMEDIATELY FOLLOWING HEAVY RAIN STORMS TO ENSURE MEASURES ARE FUNCTIONING PROPERLY. REPAIR OR REPLACE FAILED SYSTEMS AT THE EARLIEST POSSIBLE DATE.
 - ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING.
 - ALL DISTURBED AREAS, WITH NO SPECIFIED GROUND COVER ARE TO BE RESTORED WITH MINIMUM FOUR (4) INCHES OF TOPSOIL AND SEEDING.
 - PROPERTY MARKERS AND STREET LINE MONUMENTS SHALL BE PROPERLY PROTECTED AT ALL TIMES DURING CONSTRUCTION TO ENSURE INTEGRITY. IF DISTURBED, THEY SHALL BE REPLACED BY A REGISTERED SURVEYOR AT THE CONTRACTOR'S EXPENSE.
 - ALL EXCAVATION SHALL INCLUDE CLEARING, STRIPPING AND STOCKPILING TOPSOIL, REMOVING UNSUITABLE MATERIALS, THE CONSTRUCTION OF EMBANKMENTS, CONSTRUCTION FILLS, AND THE FINAL SHAPING AND TRIMMING TO THE LINES AND GRADES SHOWN ON THE PLANS.
 - ALL TREES, BRUSH, AND ORGANIC TOPSOIL AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED, UNLESS OTHERWISE SPECIFIED, AND DISPOSED OF AT AN OFF-SITE LOCATION, WITH THE EXCEPTION THAT ENOUGH TOPSOIL SHALL BE RETAINED FOR RE-SPREAD AND GENERAL LANDSCAPING. AREAS WHICH ARE TO BE FILLED SHALL BE COMPACTED TO A MINIMUM DENSITY OF 95% AS DETERMINED BY THE MODIFIED PROCTOR (ASTM D1557, METHOD C) COMPACTION TEST IN THE PAVED AREAS AND 90% IN THE OTHER AREAS.
 - SWEEP CLEAN THE BINDER COURSE PRIOR TO THE INSTALLATION OF THE FINAL BITUMINOUS CONCRETE SURFACE COURSE. EXCESSIVE CLEANING OF THE BINDER COURSE THAT MAY BE REQUIRED, AND IS NOT THE FAULT OF THE PAVING CONTRACTOR, SHALL BE PAID FOR ON A TIME AND MATERIAL BASIS BY PRIOR AGREEMENT WITH THE GENERAL CONTRACTOR.
 - THE TOWN'S ENGINEERING DIVISION SHALL BE NOTIFIED SEVENTY-TWO (72) HOURS PRIOR TO ANY EXCAVATION TO MARK OUT TOWN UTILITIES.
 - ALL WATER, SEWER, CURB CUT, STREET OPENING AND JACKIE'S LAW EXCAVATION PERMITS SHALL BE OBTAINED AT THE ENGINEERING DIVISION PRIOR TO ANY EXCAVATIONS.
 - ALL SITE WORK SHALL BE INSPECTED BY THE ENGINEERING DIVISION. THE APPLICANT/OWNER'S CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE OF PROPOSED WORK. ALL INSPECTIONS SHALL BE SCHEDULED 48 HOURS IN ADVANCE.

REVISION

REVISION	DATE	BY

PROJECT LOCATION:
 LOTS 2, 3, & 4
 GRANDVIEW ROAD
 READING, MA 01867

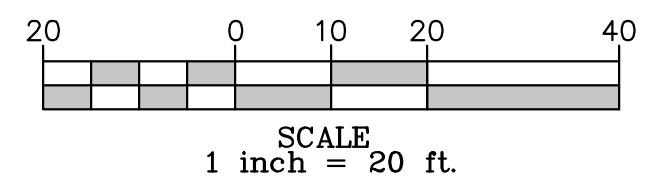
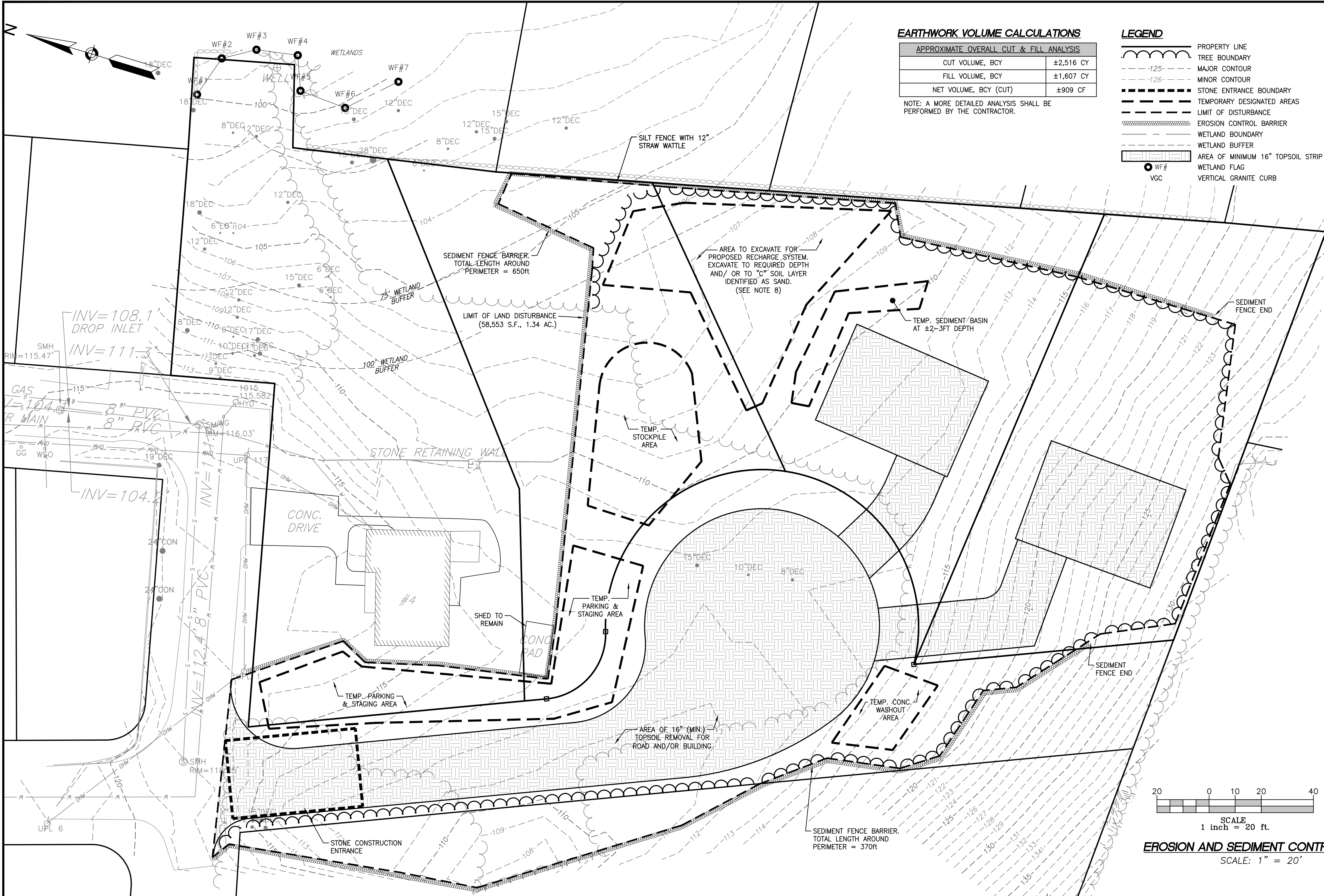
PARCEL ID:
 MAP 27, LOT 404

PLAN SET:
 MAJOR SITE PLAN MODIFICATION
 GRANDVIEW ROAD SUBDIVISION - PRIVATE WAY
 (GRANDVIEW ROAD EXTENSION)

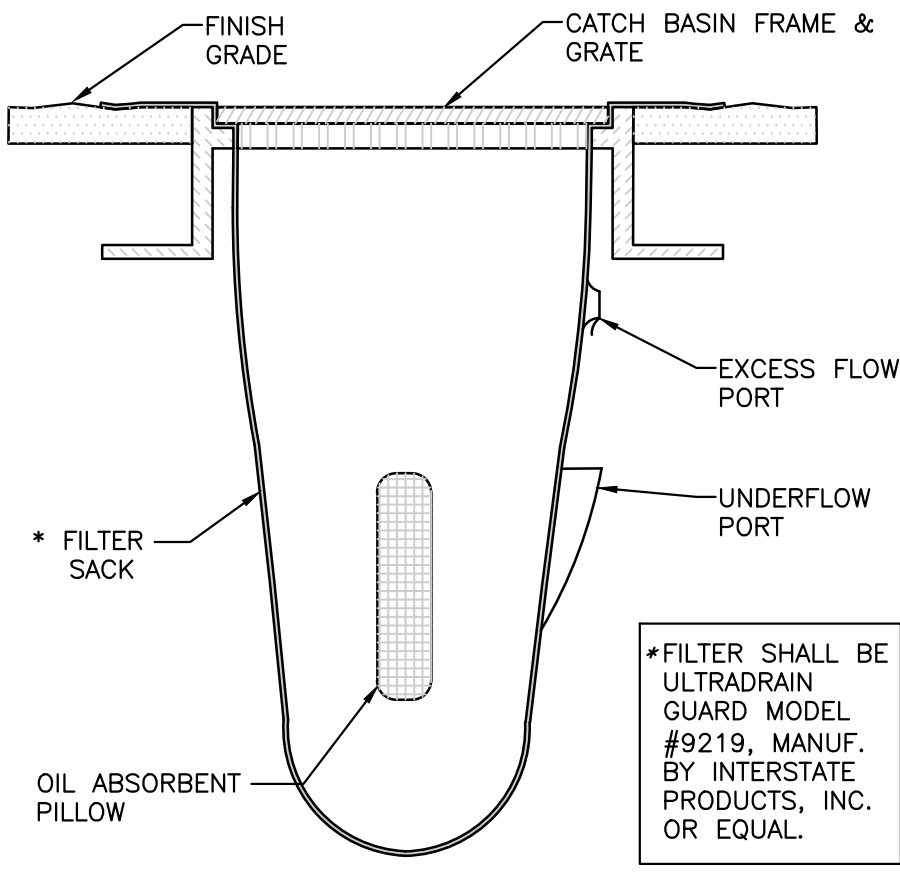
SITE PLAN PERMIT SET

APRIL 20, 2023

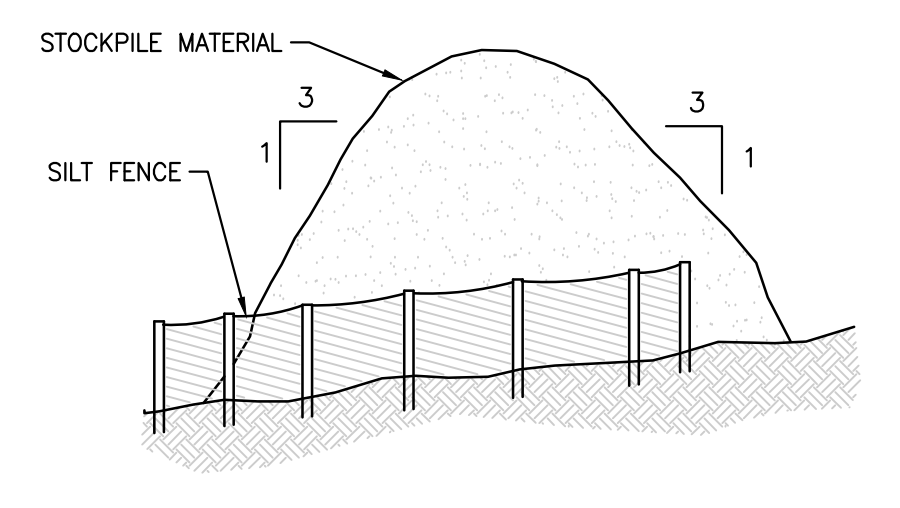
SCALE: 1" = 20'



EROSION AND SEDIMENT CONTROL PLAN
 SCALE: 1" = 20'

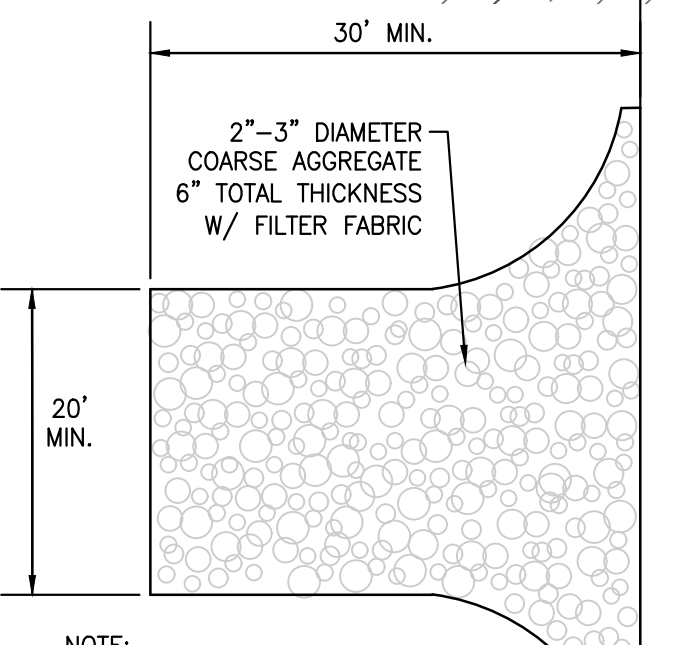


CATCH BASIN INLET PROTECTION
 N.T.S.



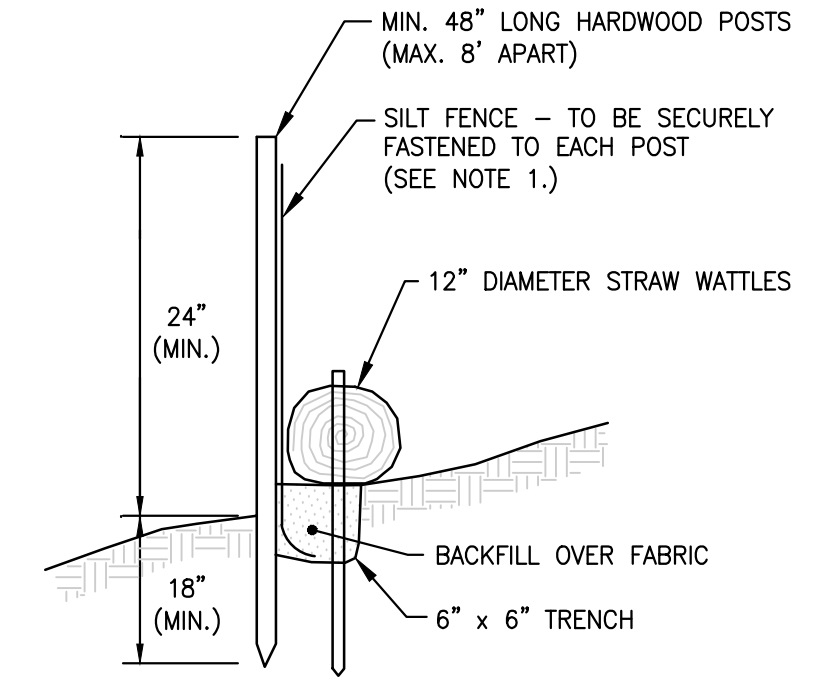
NOTES:
 1. STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET.
 2. STOCKPILE SLOPES MUST BE 3:1 OR FLATTER.

STOCKPILE DETAIL
 N.T.S.



NOTE:
 GRAVEL PAD IS REQUIRED TO PROVIDE BUFFER AREA WHERE VEHICLES CAN DROP MUD AND SEDIMENT TO AVOID TRANSPORTING IT ONTO PAVED ROADS, TO CONTROL EROSION FROM SURFACE RUNOFF AND TO HELP CONTROL DUST.

STONE CONSTRUCTION ENTRANCE
 N.T.S.



NOTES:
 1. WATTLES SHALL BE STAKED A MINIMUM OF 24 INCHES INTO THE GROUND WITH 2 INCHES OR LESS OF STAKE EXPOSED ABOVE WATTLE. STAKE SHALL BE A MAXIMUM OF 4 FEET APART AND WITHIN 2 FEET OF END OF WATTLE SECTIONS.

SILT FENCE/ STRAW WATTLE BARRIER
 N.T.S.

TOWN OF READING
 COMMUNITY PLANNING & DEVELOPMENT COMMISSION

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FODERA ENGINEERING
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 gfodera@foderaengineering.com
 28 Harbor St., Suite 204
 Danvers, MA 01923



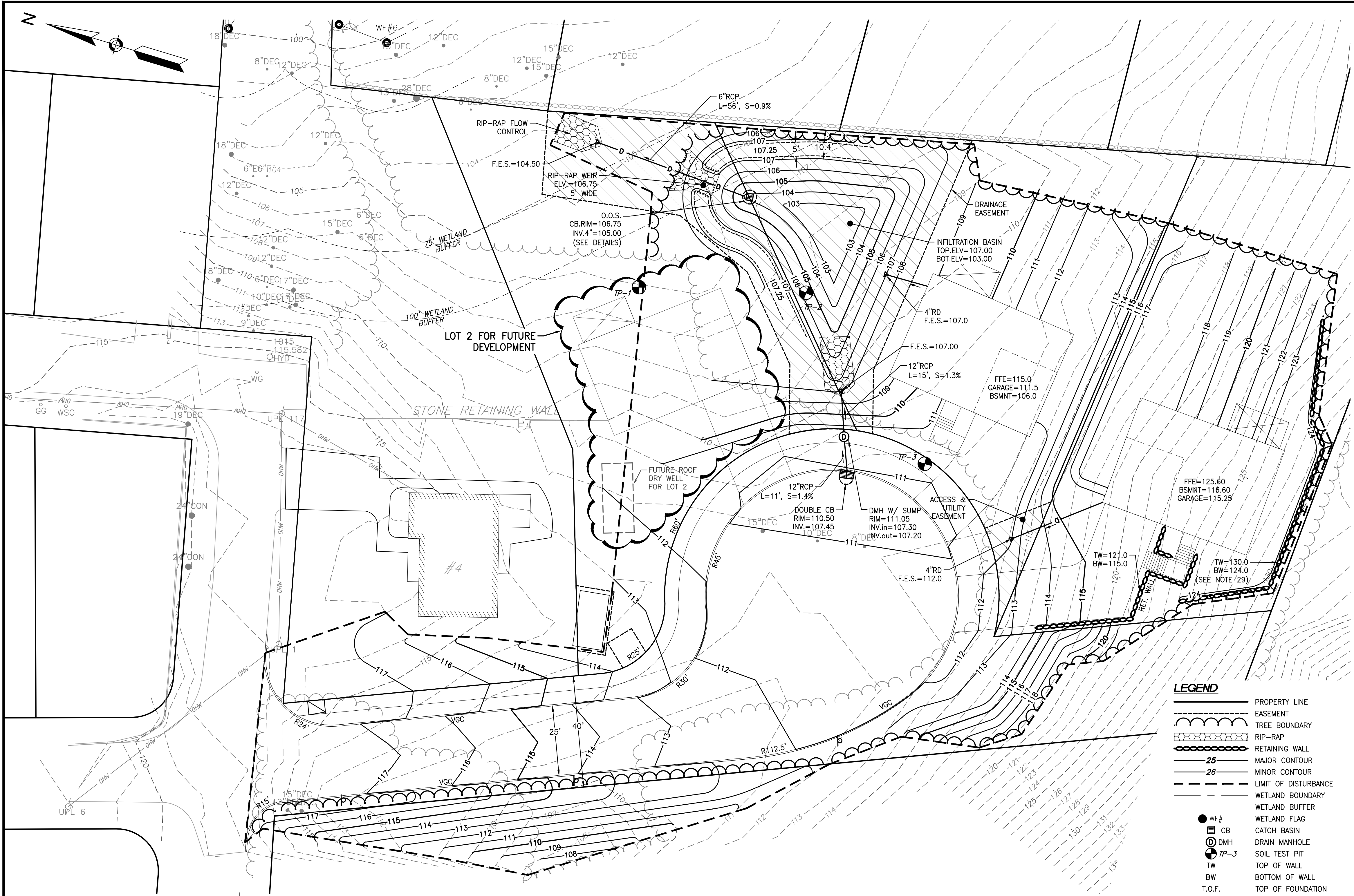
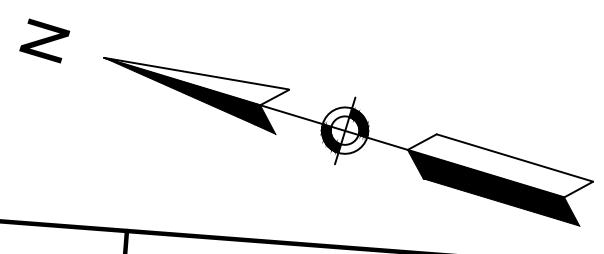
SURVEYOR:
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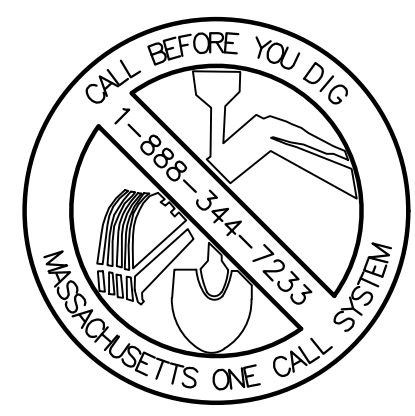
JOB NO.: 20160-149

SHEET TITLE:
 EROSION + SEDIMENT CONTROL PLAN

SHEET NUMBER:
 C-3



- GRADING AND DRAINAGE NOTES**
- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE TOWN'S LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS.
 - GRADING IN THE RIGHT-OF-WAY SHALL IN ACCORDANCE WITH LOCAL REGULATIONS, UNLESS OTHERWISE APPROVED BY THE TOWN.
 - THE CONTRACTOR SHALL NOTIFY DIG SAFE AND THE TOWN A MINIMUM OF 72 HOURS PRIOR TO THE START OF ANY EXCAVATIONS.
 - INSTALL ALL APPROPRIATE TREE PROTECTION MEASURES PRIOR TO GRADING AND EXCAVATION.
 - EXACT LOCATIONS OF SAW-CUTTING MAY BE FIELD DETERMINED BASED ON EXISTING PAVEMENT CONDITIONS.
 - THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS AND STAKES.
 - EROSION CONTROL MEASURES SHALL BE STABILIZED IN PLACE BEFORE BEGINNING SITE WORK. THESE MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
 - ALL INDICATED ELEVATIONS ARE FINISHED ELEVATIONS.
 - LOCATE AND PROTECT ALL UTILITIES ASSOCIATED WITH THE PROJECT PRIOR TO CONSTRUCTION.
 - ALL EXCAVATION SHALL INCLUDE CLEARING, STRIPPING AND STOCKPILING TOPSOIL, REMOVING UNSUITABLE MATERIALS, THE CONSTRUCTION OF EMBANKMENTS, CONSTRUCTION FILLS, AND THE FINAL SHAPING AND TRIMMING TO THE LINES AND GRADES SHOWN ON THE PLANS.
 - ALL TREES, BRUSH, AND ORGANIC TOPSOIL AND OTHER OBJECTIONABLE MATERIAL SHALL BE REMOVED, UNLESS OTHERWISE SPECIFIED, AND DISPOSED OF AT AN OFF-SITE LOCATION, WITH THE EXCEPTION THAT ENOUGH TOPSOIL SHALL BE RETAINED FOR RE-SPREAD AND GENERAL LANDSCAPING AREAS WHICH ARE TO BE FILLED SHALL BE COMPACTED TO A MINIMUM DENSITY OF 95% AS DETERMINED BY THE MODIFIED PROCTOR (ASTM D1557, METHOD C) COMPACTION TEST IN THE PAVED AREAS AND 90% IN THE OTHER AREAS.
 - CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE TO ALL INLETS AND CATCH BASINS. AREAS OF SURFACE PONDING SHALL BE CORRECTED BY CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
 - IF AREAS ARE DISTURBED BEYOND PROPOSED GRADES BY NEGLIGENCE OF THE CONTRACTOR, THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY REGRADING OR REPAIR TO MATCH ORIGINAL EXISTING CONDITIONS.
 - SHORING SHALL BE DONE AS NECESSARY FOR THE PROTECTION OF THE WORK AND FOR THE SAFETY OF PERSONNEL. SHORING SHALL BE IN ACCORDANCE WITH ALL O.S.H.A AND LOCAL REGULATIONS.
 - CONTRACTOR SHALL ADJUST GRADES BY VARYING THE PAVEMENT SECTIONS ACCORDINGLY. EXISTING COMPACTED SUBGRADE TO BE DISTURBED AS LITTLE AS POSSIBLE.
 - ALL PROPOSED SPOT ELEVATIONS SHOWN INDICATE FINISHED GRADED ELEVATIONS AT EDGE OF PAVEMENT AND/OR GRADE BREAKS, UNLESS OTHERWISE NOTED.
 - MAINTAIN PROPER SITE DRAINAGE AT ALL TIMES DURING THE COURSE OF CONSTRUCTION, AND PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.
 - SPREAD AND COMPACT UNIFORMLY TO THE DEGREE SPECIFIED ALL EXCESS TRENCH SPOIL AFTER COMPLETION OF THE UNDERGROUND IMPROVEMENTS (EARTHWORK CONTRACTOR SHALL MAKE APPROPRIATE ADJUSTMENTS IN ROUGH GRADING TO ACCOMMODATE TRENCH SPOIL).
 - PROVIDE WATER TO ADD TO DRY MATERIAL IN ORDER TO ADJUST THE MOISTURE CONTENT FOR THE PURPOSE OF ACHIEVING THE SPECIFIED COMPACTION.
 - UNSUITABLE MATERIAL SHALL BE CONSIDERED AS MATERIAL WHICH IS NOT SUITABLE FOR THE SUPPORT OF PAVEMENT AND BUILDING CONSTRUCTION, AND IS ENCOUNTERED BELOW NORMAL TOPSOIL DEPTHS AND THE PROPOSED SUB-GRADE ELEVATION. THE DECISION TO REMOVE SAID MATERIAL, AND TO WHAT EXTENT, SHALL BE MADE BY A SOILS ENGINEER WITH THE CONCURRENCE OF THE OWNER.
 - REPAIR ANY BASE COURSE AND BINDER COURSE FAILURES PRIOR TO THE INSTALLATION OF THE FINAL BITUMINOUS CONCRETE SURFACE COURSE.
 - SWEEP CLEAN THE BINDER COURSE PRIOR TO THE INSTALLATION OF THE FINAL BITUMINOUS CONCRETE SURFACE COURSE. EXCESSIVE CLEANING OF THE BINDER COURSE THAT MAY BE REQUIRED, AND IS NOT THE FAULT OF THE PAVING CONTRACTOR, SHALL BE PAID FOR ON A TIME AND MATERIAL BASIS BY PRIOR AGREEMENT WITH THE GENERAL CONTRACTOR.
 - CONFIRM INVERTS OF ALL EXISTING STORM INLETS AND SANITARY SEWER MANHOLES BEFORE COMMENCING CONSTRUCTION.
 - A GEOTEXTILE MATTING (LANDLOCK TRM 450 OR EQUIVALENT) SHALL BE USED FOR EROSION CONTROL AN ALL SLOPES GREATER THAN 3H:1V IF NECESSARY.
 - DRAINAGE STRUCTURES AND UNDERGROUND INFILTRATION FACILITIES SHALL BE INSPECTED SEMIANNUALLY TO ENSURE PROPER WORKING ORDER.
 - UNSUITABLE EXISTING SOILS, SILT, AND DEBRIS SHALL BE ADEQUATELY REMOVED FROM THE AREA OF THE PROPOSED INFILTRATION BASIN. REMOVE ALL ORGANICS.
 - IF THE CONTRACTOR IN THE COURSE OF WORK FINDS ANY DISCREPANCIES BETWEEN THE PLANS AND THE PHYSICAL CONDITIONS OF THE LOCALITY, OR ANY ERRORS OR OMISSIONS IN THE PLANS OR IN THE LAYOUT AS GIVEN BY THE ENGINEER, IT SHALL BE HIS DUTY TO IMMEDIATELY INFORM THE ENGINEER, IN WRITING AND THE ENGINEER WILL PROMPTLY VERIFY THE SAME. ANY WORK DONE AFTER SUCH A DISCOVERY, UNTIL AUTHORIZED, WILL BE AT THE CONTRACTOR'S RISK.
 - ANNUAL O&M REPORTS SHALL BE DELIVERED TO THE OFFICE OF THE TOWN ENGINEER BY JANUARY 15 OF EACH YEAR.
 - ANY RETAINING WALL OVER FOUR (4) FEET IN RETAINED HEIGHT SHALL REQUIRE AN ENGINEERED DESIGN FROM A DESIGN PROFESSIONAL.



REVISION	DATE	BY

PROJECT LOCATION:
 LOTS 2, 3 & 4
 GRANDVIEW ROAD
 READING, MA 01867

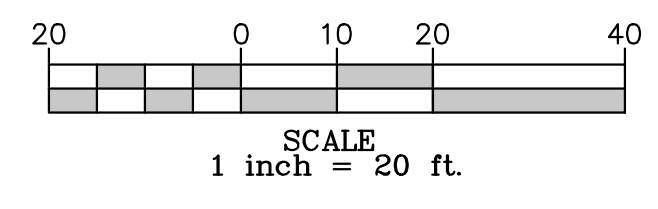
PARCEL ID:
 MAP 27, LOT 404

PLAN SET:
 MAJOR SITE PLAN MODIFICATION
 GRANDVIEW ROAD SUBDIVISION - PRIVATE WAY
 (GRANDVIEW ROAD EXTENSION)

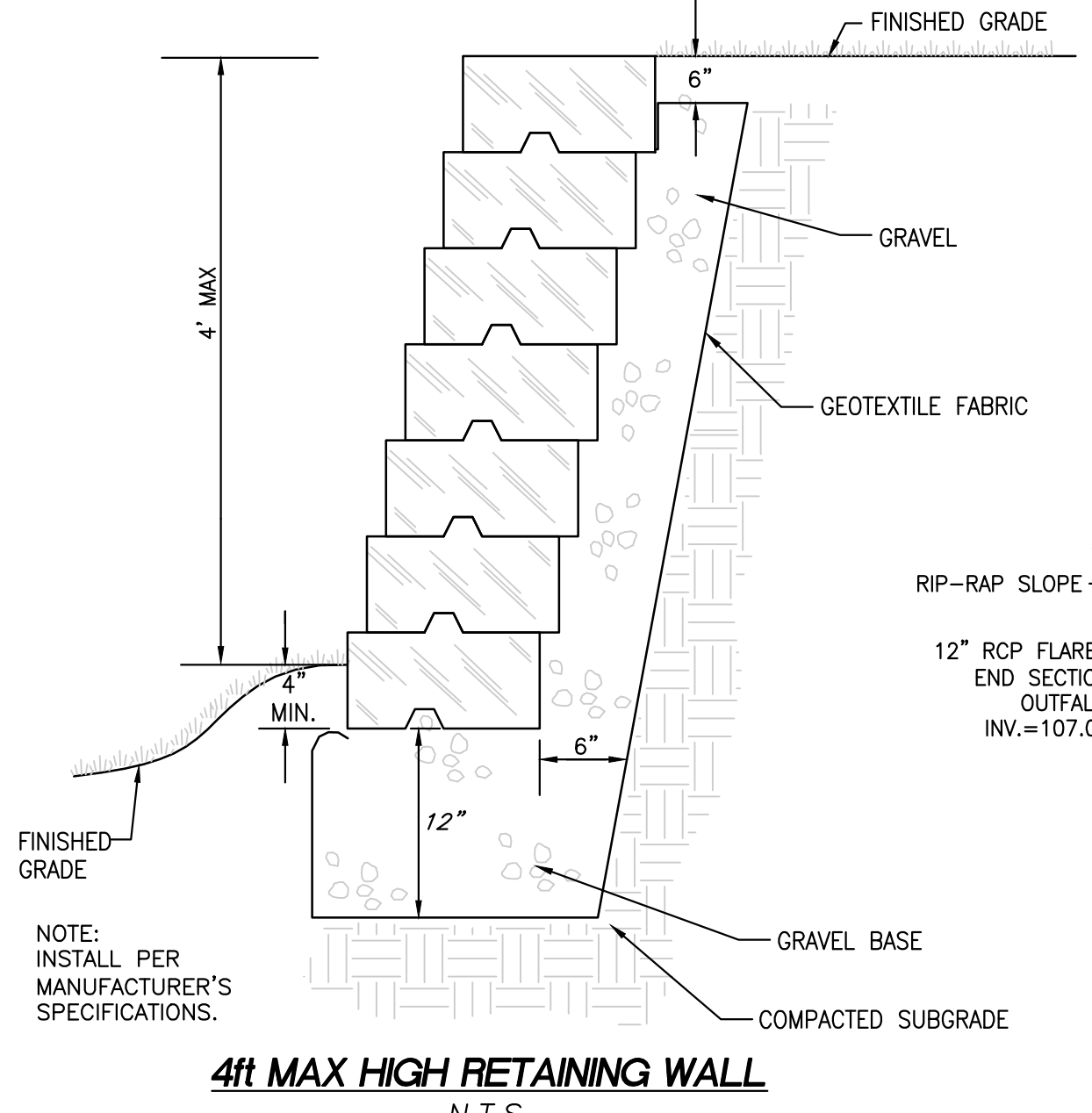
SITE PLAN PERMIT SET:
 APRIL 20, 2023

LEGEND

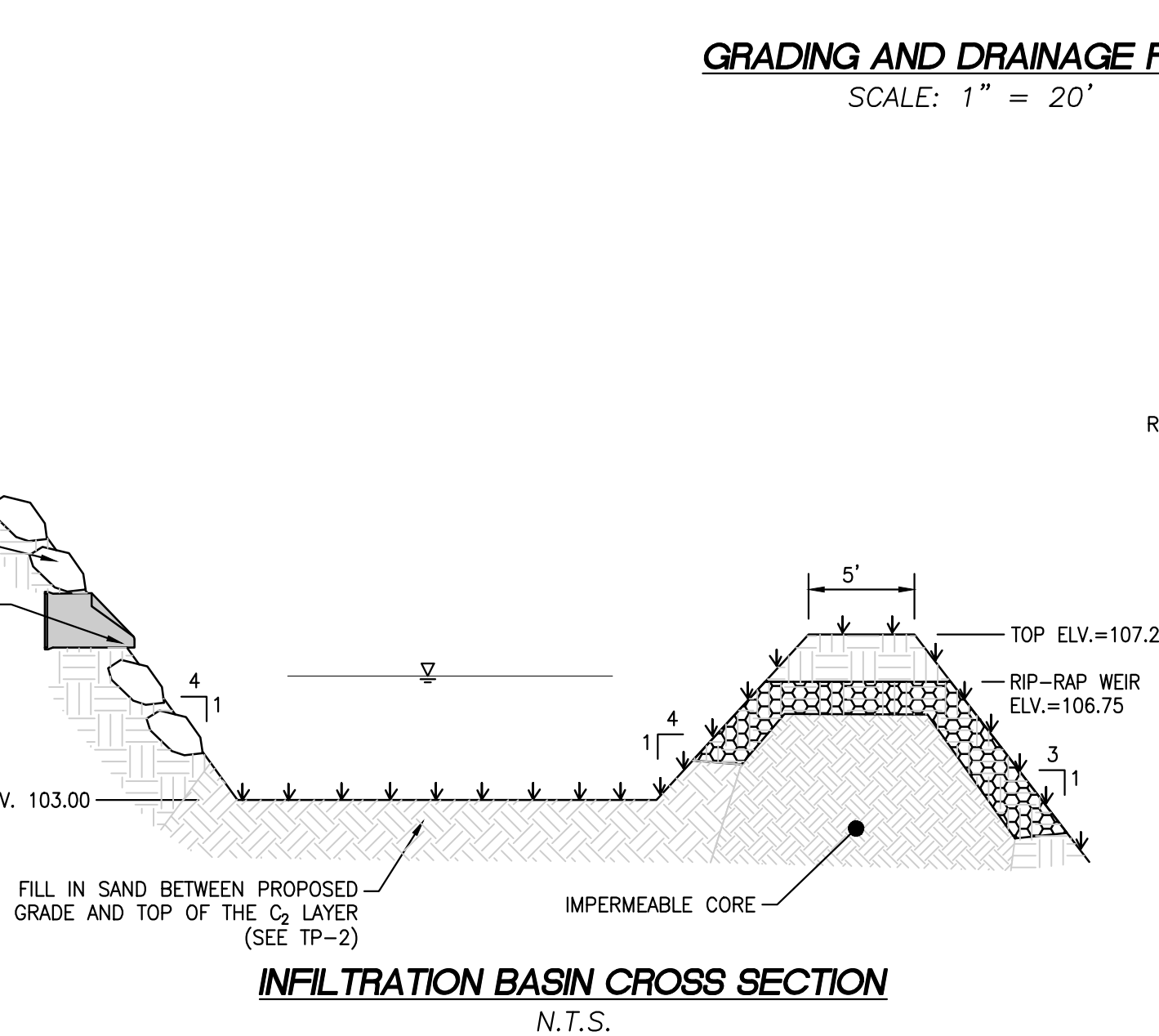
- PROPERTY LINE
- - - EASEMENT
- ~ ~ ~ TREE BOUNDARY
- ▨ RIP-RAP
- RETAINING WALL
- MAJOR CONTOUR
- MINOR CONTOUR
- - - LIMIT OF DISTURBANCE
- - - WETLAND BOUNDARY
- WETLAND BUFFER
- WF# WETLAND FLAG
- CB CATCH BASIN
- DMH DRAIN MANHOLE
- TP-3 SOIL TEST PIT
- TW TOP OF WALL
- BW BOTTOM OF WALL
- T.O.F. TOP OF FOUNDATION
- FFE FIRST FLOOR ELEVATION
- RIM RIM ELEVATION
- INV. INVERT ELEVATION
- O.O.S. OVERFLOW OUTLET STRUCTURE
- F.E.S. FLARED END SECTION



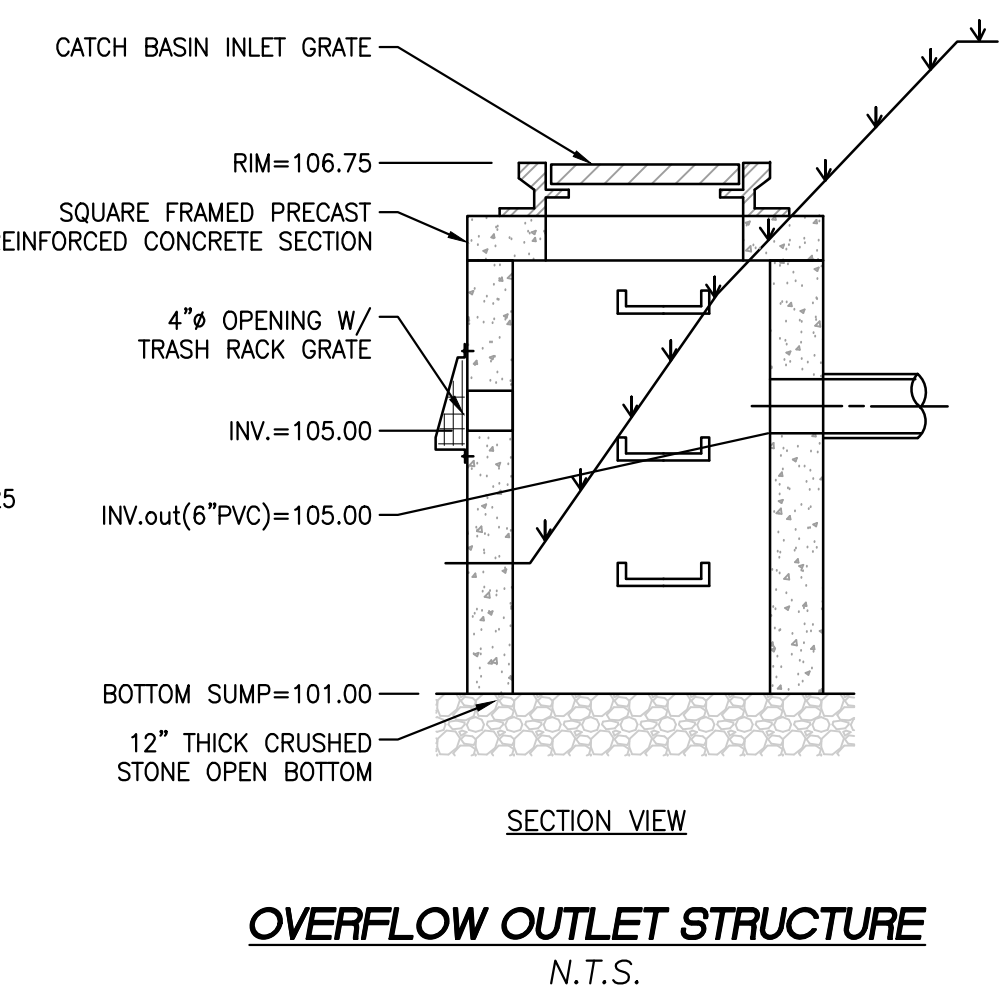
GRADING AND DRAINAGE PLAN
 SCALE: 1" = 20'



4ft MAX HIGH RETAINING WALL
 N.T.S.



INFILTRATION BASIN CROSS SECTION
 N.T.S.



OVERFLOW OUTLET STRUCTURE
 N.T.S.

SOIL TEST RESULTS
 TEST DATE: 7/6/2020
 WEATHER: 65°F, SUNNY/ DRY
 SOIL EVALUATOR: ARMAND PORRAZZO
 LICENCE #: 1958

TP-1	TP-2	TP-3
ELV. DPT.	ELV. DPT.	ELV. DPT.
106 0"	108 0"	112 0"
105 9"	107 12"	111 8"
104 24"	106 36"	110 27"
103 32"	105 36"	109 108"
102 10YR 7/6	104 10YR 7/6	108 10YR 7/6
101 10YR 7/6	103 10YR 7/6	107 10YR 7/6
100 2.5Y 4/3	102 2.5Y 5/2	106 2.5Y 5/2
99 10YR 7/6	101 2.5Y 4/3	105 2.5Y 5/2
98 10YR 7/6	100 2.5Y 4/3	104 2.5Y 5/2
97 10YR 7/6	99 2.5Y 4/3	103 2.5Y 5/2
96 10YR 7/6	98 2.5Y 4/3	102 2.5Y 5/2

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 COMMUNITY PLANNING & DEVELOPMENT COMMISSION

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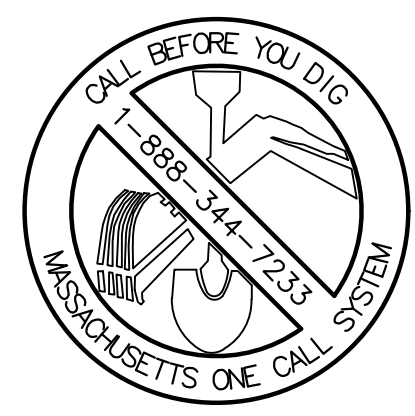
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 P. 978.891.5203
 www.pfsland.com

PROFESSIONAL SEAL:
 GIOVANNI GAETANO FODERA
 No. 54884
 REGISTERED PROFESSIONAL ENGINEER

PROFESSIONAL SEAL:
 PFSLand Surveying, Inc.
 No. 54884
 REGISTERED PROFESSIONAL SURVEYOR

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JOB NO.: 20160-149
SHEET TITLE:
GRADING AND DRAINAGE PLAN
SHEET NUMBER:
 C-4



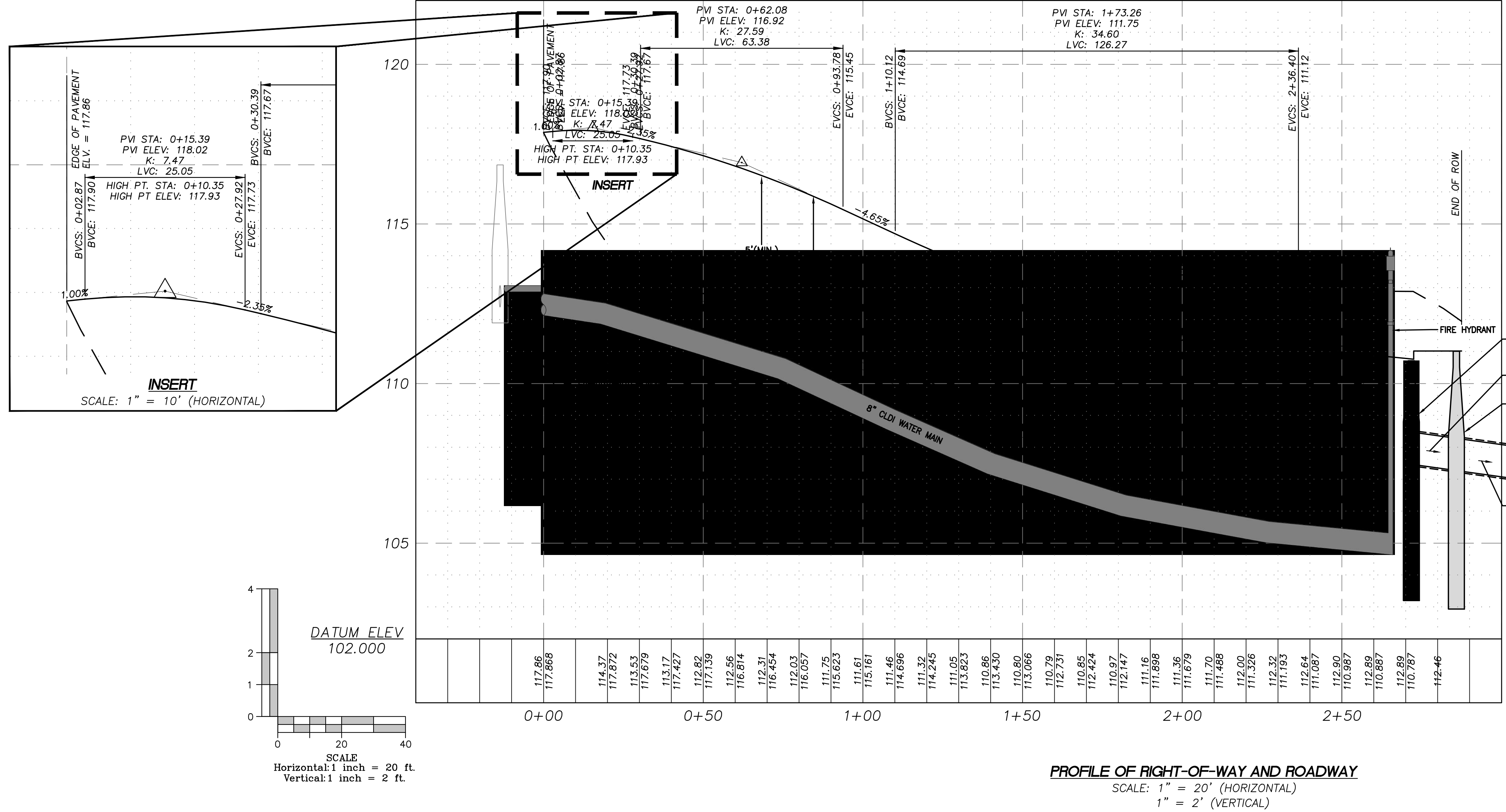
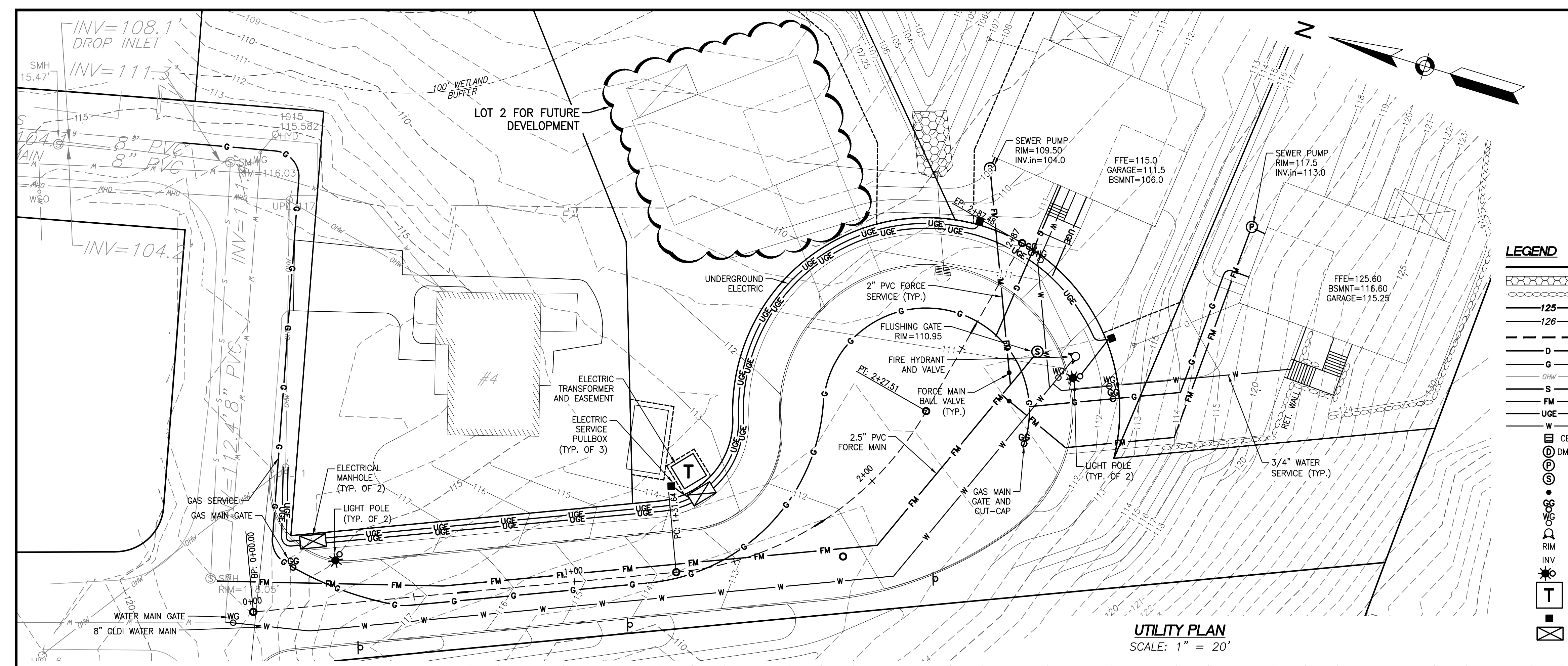
SEWAGE CALCULATIONS
 ASSUMPTIONS MADE FOR EACH PROPOSED HOUSE TO CONTAIN FOUR (4) BEDROOMS. CALCULATIONS BELOW ARE IN ACCORDANCE TO 310 CMR 15.00.
 3 NEW HOUSES * 4 BEDROOMS PER HOUSE = 12 BEDROOMS ADDED
 12 BEDROOMS * 110 GAL/DAY = 1,320 GAL/DAY OF ADDED SEWAGE

- UTILITY NOTES**
- CONTRACTOR IS TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND ENSURE NO CONFLICTS EXIST WITH PROPOSED IMPROVEMENTS. NOTIFY ENGINEER IMMEDIATELY IF UTILITIES ARE LOCATED DIFFERENTLY THAN SHOWN. THE CONTRACTOR SHALL COORDINATE WITH EACH RESPECTIVE UTILITY COMPANY IN ORDER TO RELOCATE IF NEEDED IN CONFORMANCE WITH THEIR GUIDELINES.
 - CONTRACTOR SHALL NOTIFY AND COORDINATE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO THE REMOVAL OF INDICATED UTILITIES ON SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS REQUIRED FOR DEMOLITION AND HULL OFF FROM THE APPROPRIATE AUTHORITIES.
 - THE DEPARTMENT OF PUBLIC WORKS OR APPLICABLE GOVERNING DEPARTMENT MUST AUTHORIZE AND PERMIT TO CONSTRUCT, ALTER OR MODIFY A WATER OR SEWER LINE.
 - AT THE COMPLETION OF THE WATER AND/OR SEWER CONSTRUCTION AND PRIOR TO RECORDING THE FINAL PLAN, THE CONTRACTOR WILL FURNISH THE WATER SYSTEM INSPECTOR RECORD DRAWINGS OF THE PROJECT.
 - BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE GAS COMPANY FOR THE CONSTRUCTION OF THE GAS LINE BETWEEN METER AND MAIN.
 - BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH THE POWER COMPANY FOR THE CONSTRUCTION OF ELECTRICAL CONDUIT TO PROVIDE SERVICE AND IF A TRANSFORMER IS REQUIRED TO BE INSTALLED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING, PRIOR TO CONSTRUCTION, ALL EXISTING LOCATIONS AND INVERT ELEVATIONS OF SANITARY SEWERS, STORM DRAINAGE, AND WATER MAINS. IF ANY INVERT ELEVATION VARIES MORE THAN 0.1 FT. FROM RECORD ELEVATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY. WORK SHALL NOT PROCEED UNTIL THE CONTRACTOR IS NOTIFIED BY THE ENGINEER.
 - CONNECT TO EXISTING UTILITIES AND INSTALL UTILITIES IN COMPLIANCE WITH REQUIREMENTS OF APPROPRIATE JURISDICTIONAL AGENCIES.
 - COORDINATE WITH BUILDING PLANS TO ASSURE ACCURACY OF UTILITY CONNECTIONS AND COMPLIANCE WITH LOCAL CODES.
 - ALL SEWERS TO BE MAINTAINED THROUGHOUT CONSTRUCTION, INCLUDING CLEANING OF ANY SILT OR DEBRIS ACCUMULATED IN STRUCTURES.
 - ALL SURPLUS EXCAVATED MATERIAL FROM THE TRENCH SHALL BE DISPOSED OFF THE SITE BY CONTRACTOR.
 - TRENCHING SHOULD BE CONDUCTED IN ACCORDANCE WITH ALL OSHA REGULATIONS.
 - COORDINATE EXACT TRENCHING, ROUTING, AND POINT OF TERMINATION WITH ALL UTILITY COMPANIES.
 - BACKFILL MATERIAL SHALL BE SUITABLE MATERIAL IN COMPLIANCE WITH THE TOWN OF DANVERS AND/OR THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION (MASSDOT).
 - WATER MAIN SHALL HAVE A MINIMUM COVER OF FIVE (5) FEET.
 - THE SANITARY SEWER AND POTABLE WATER LINES ARE TO BE SEPARATED BY AT LEAST 10 FEET HORIZONTALLY, OR THE POTABLE WATER LINE SHALL BE AT LEAST 18 INCHES VERTICALLY ABOVE THE SANITARY SEWER.
 - CONTRACTOR TO RECONFIGURE PROPOSED ELECTRIC/TELEPHONE/CABLE CONDUITS AS NECESSARY TO AVOID CONFLICT WITH TREES/LANDSCAPING.
 - THRUST BLOCKS TO BE PLACED AT ALL BEND LOCATIONS WITHIN THE POTABLE WATER LINES. SEE DETAIL SHEETS.
 - ALL UTILITIES SHALL BE APPROVED MATERIALS AND INSTALLED IN ACCORDANCE WITH THE DEPARTMENT OF PUBLIC WORKS STANDARDS.
 - THE TOWN'S ENGINEERING DIVISION SHALL BE NOTIFIED SEVENTY-TWO (72) HOURS PRIOR TO ANY EXCAVATION TO MARK OUT TOWN UTILITIES.

REVISION	DATE	BY

PROJECT LOCATION:
 LOTS 2, 3, & 4
 GRANDVIEW ROAD
 READING, MA 01867
PARCEL ID:
 MAP 27, LOT 404

PLAN SET:
 MAJOR SITE PLAN MODIFICATION
 GRANDVIEW ROAD SUBDIVISION - PRIVATE WAY
 (GRANDVIEW ROAD EXTENSION)
 SCALE: 1" = 20'
 APRIL 20, 2023
 SITE PLAN PERMIT SET



UTILITY AND ROADWAY PROFILE PLAN
 SCALE: 1" = 20' (HORIZONTAL)

TOWN OF READING
 COMMUNITY PLANNING & DEVELOPMENT COMMISSION
 DATE: _____

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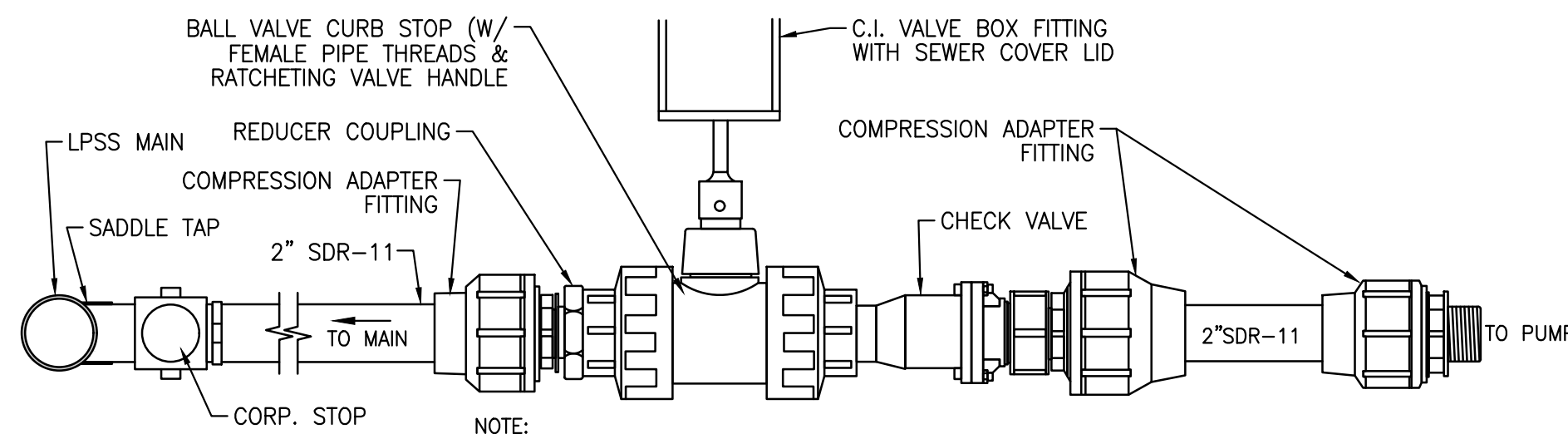
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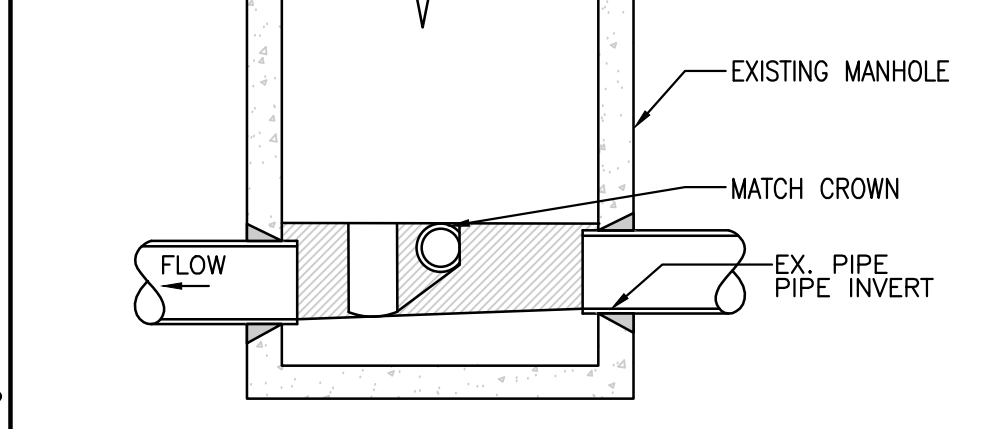
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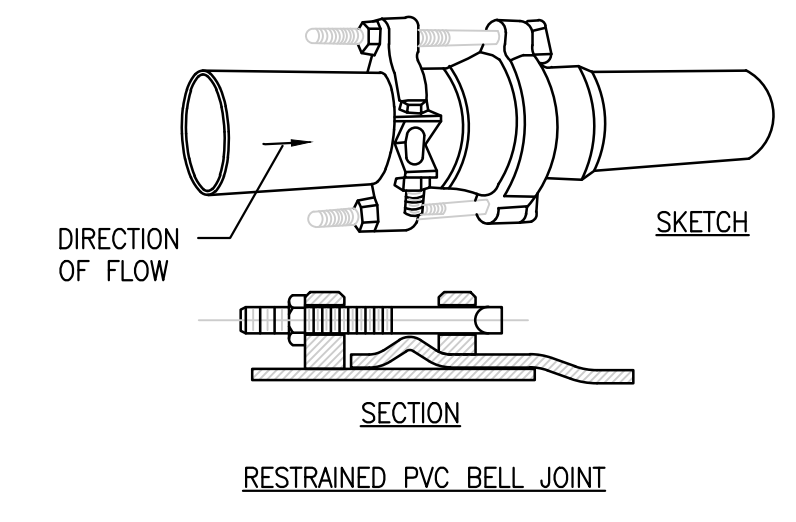
JOB NO.: 20160-149
SHEET TITLE:
 UTILITY + ROADWAY PROFILE PLAN
SHEET NUMBER:
 C-5



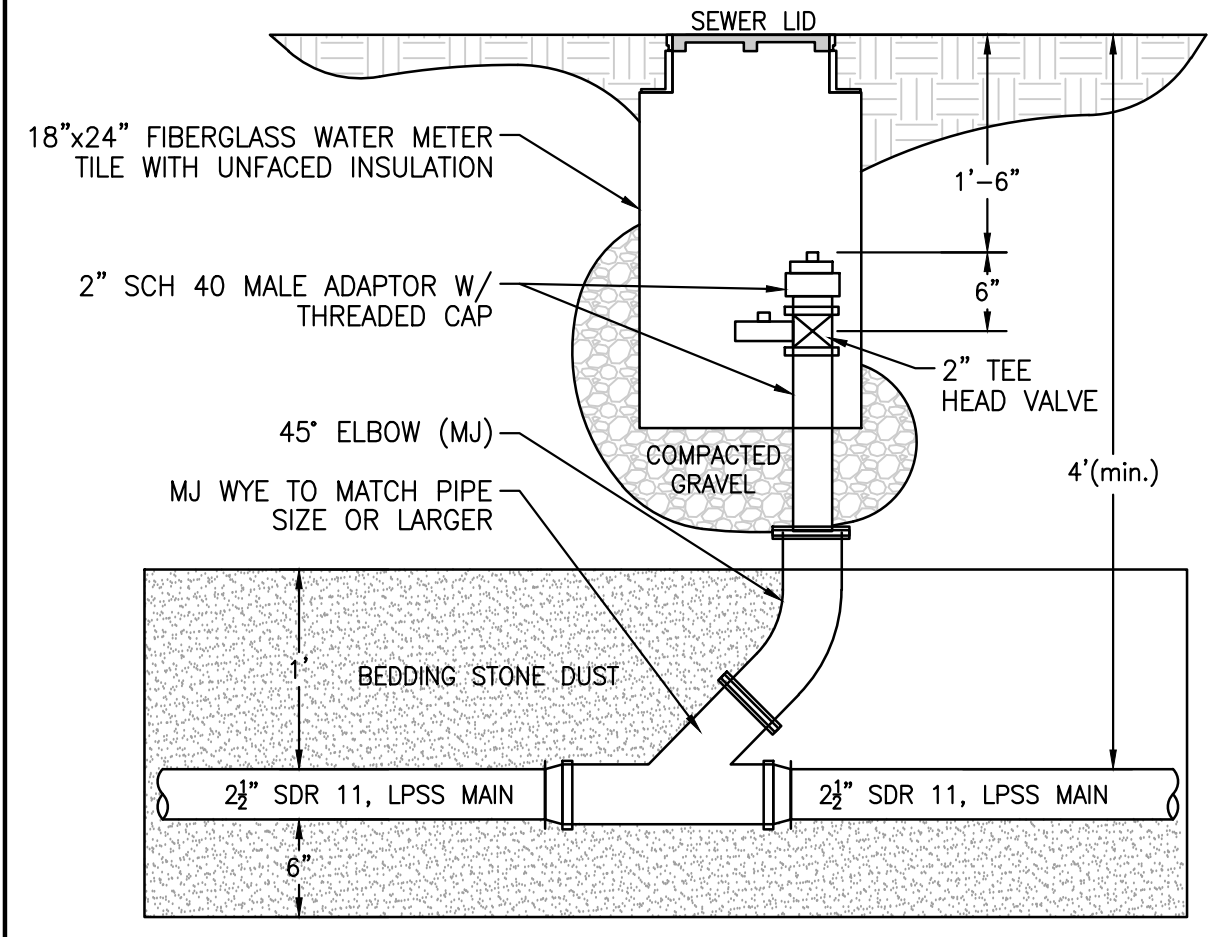
LOW PRESSURE SEWER SERVICE LATERAL VALVE AND CONNECTION
N.T.S.



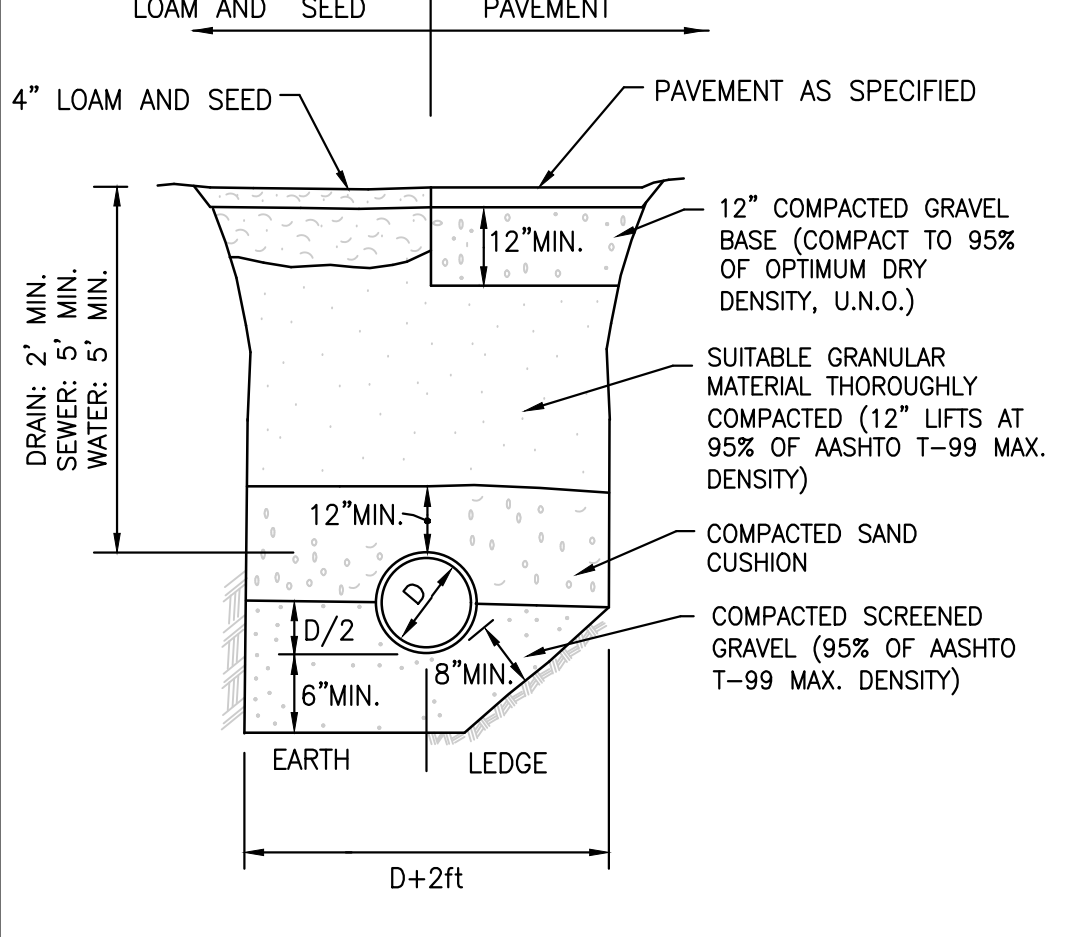
CONNECTION TO EXISTING SEWER MANHOLE
N.T.S.



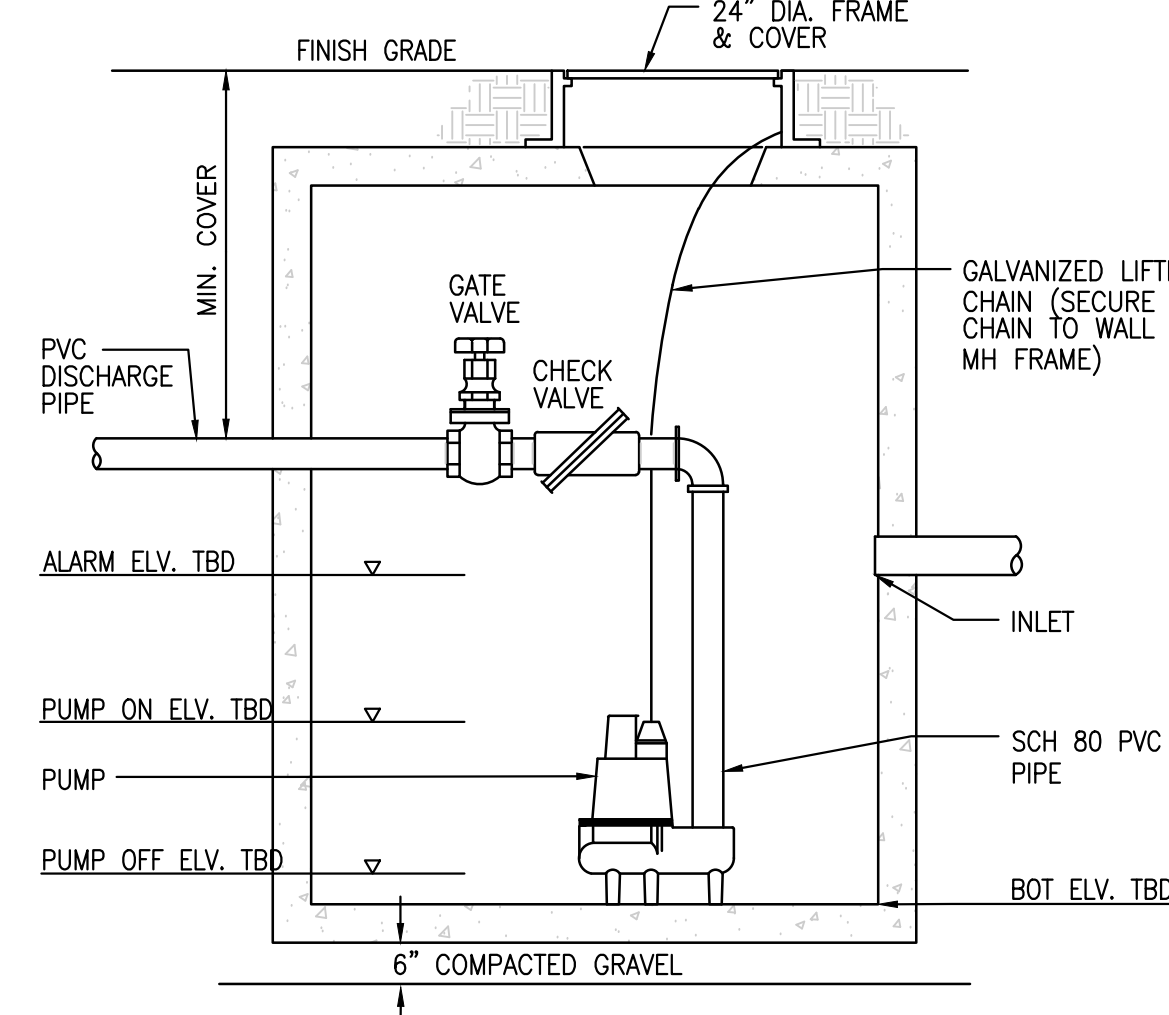
RESTRAINED PVC BELL JOINT
N.T.S.



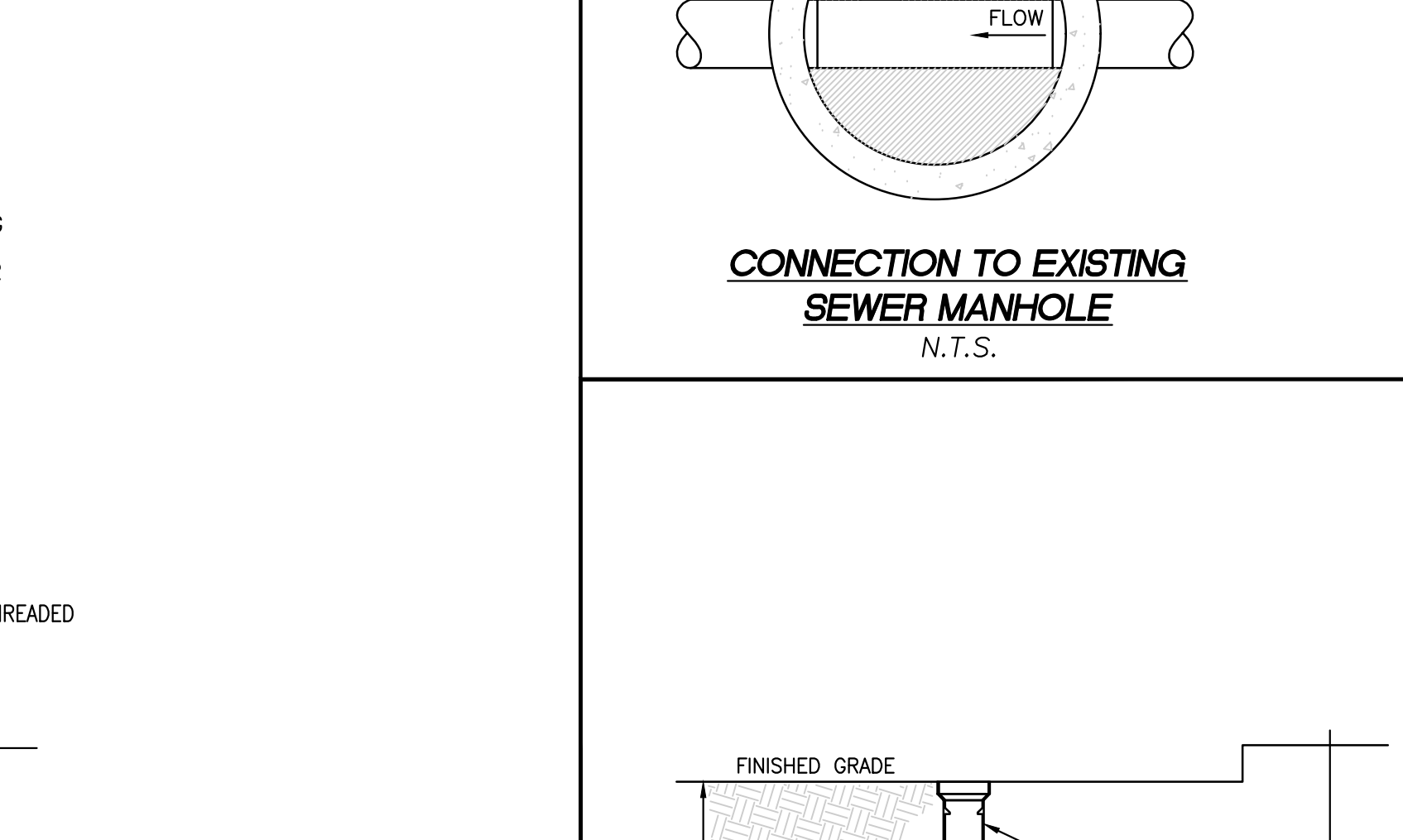
SEWER FORCE MAIN FLUSHING CONNECTION
N.T.S.



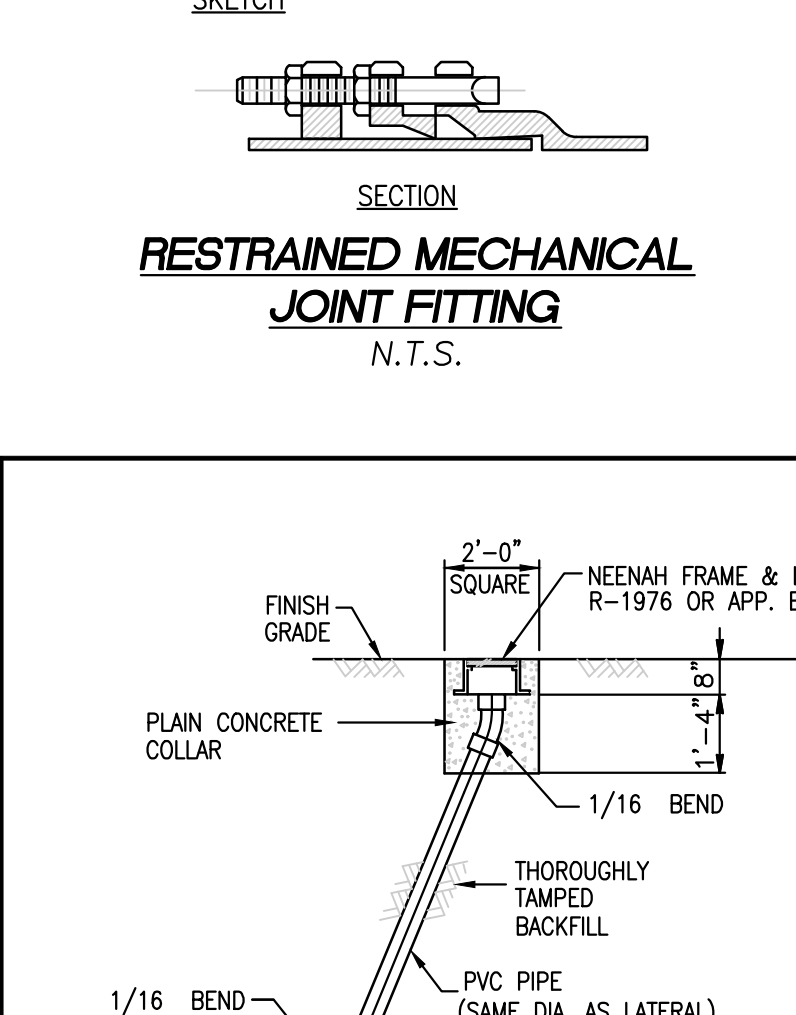
DRAIN/ SEWER/ WATER TRENCH AND BACKFILL DETAIL
N.T.S.



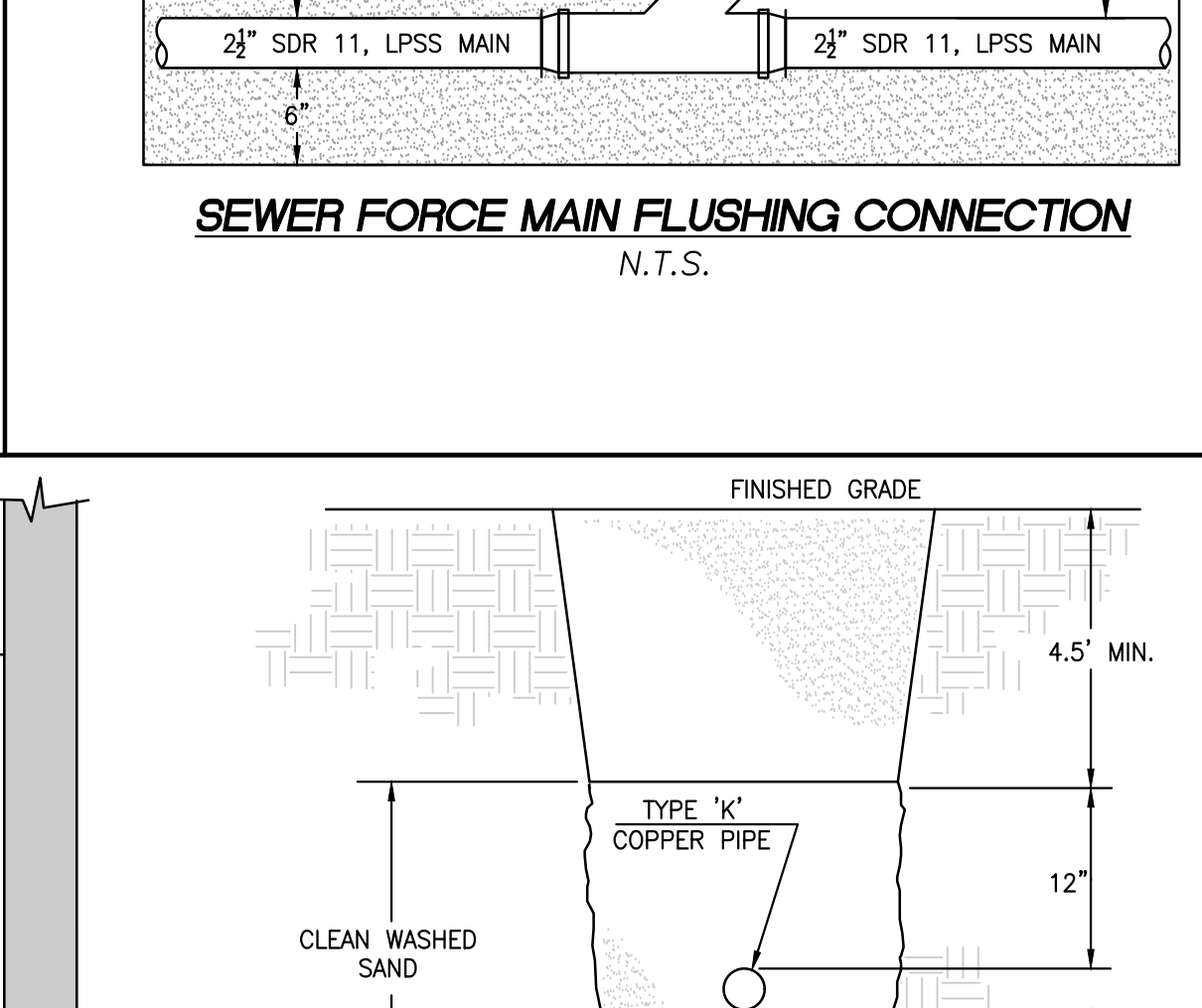
PUMP CHAMBER
N.T.S.



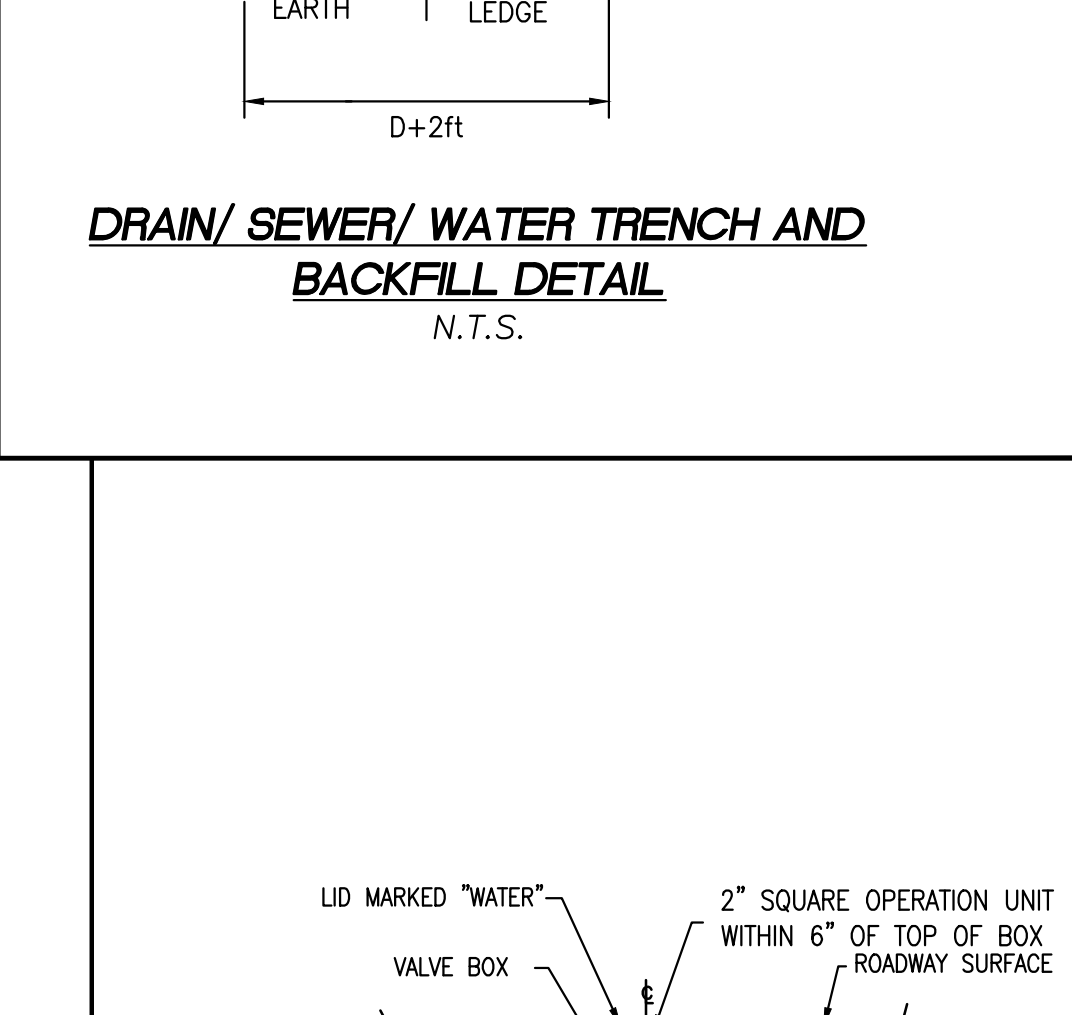
WATER SERVICE AT BUILDING W/ CLEANOUT
N.T.S.



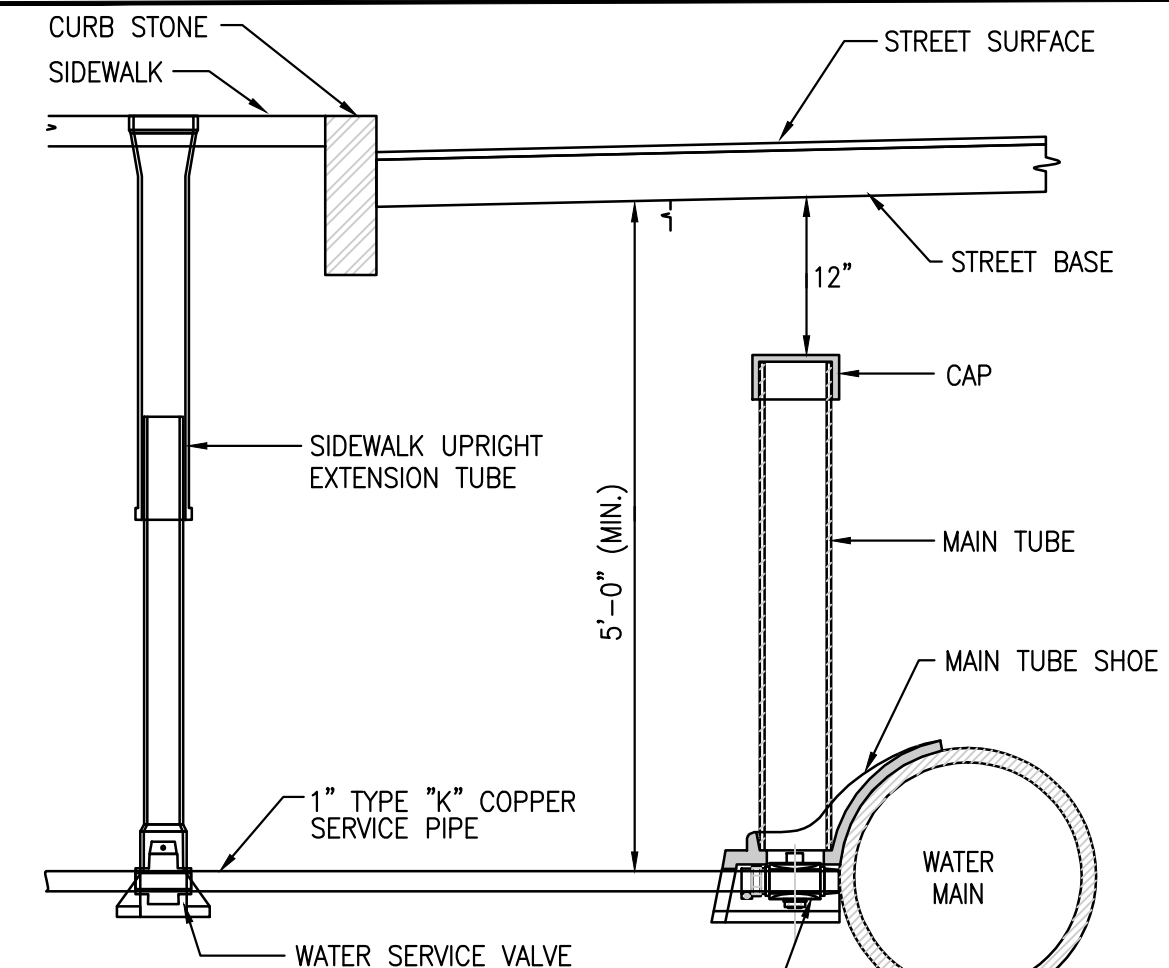
COPPER WATER SERVICE PIPE TRENCH
N.T.S.



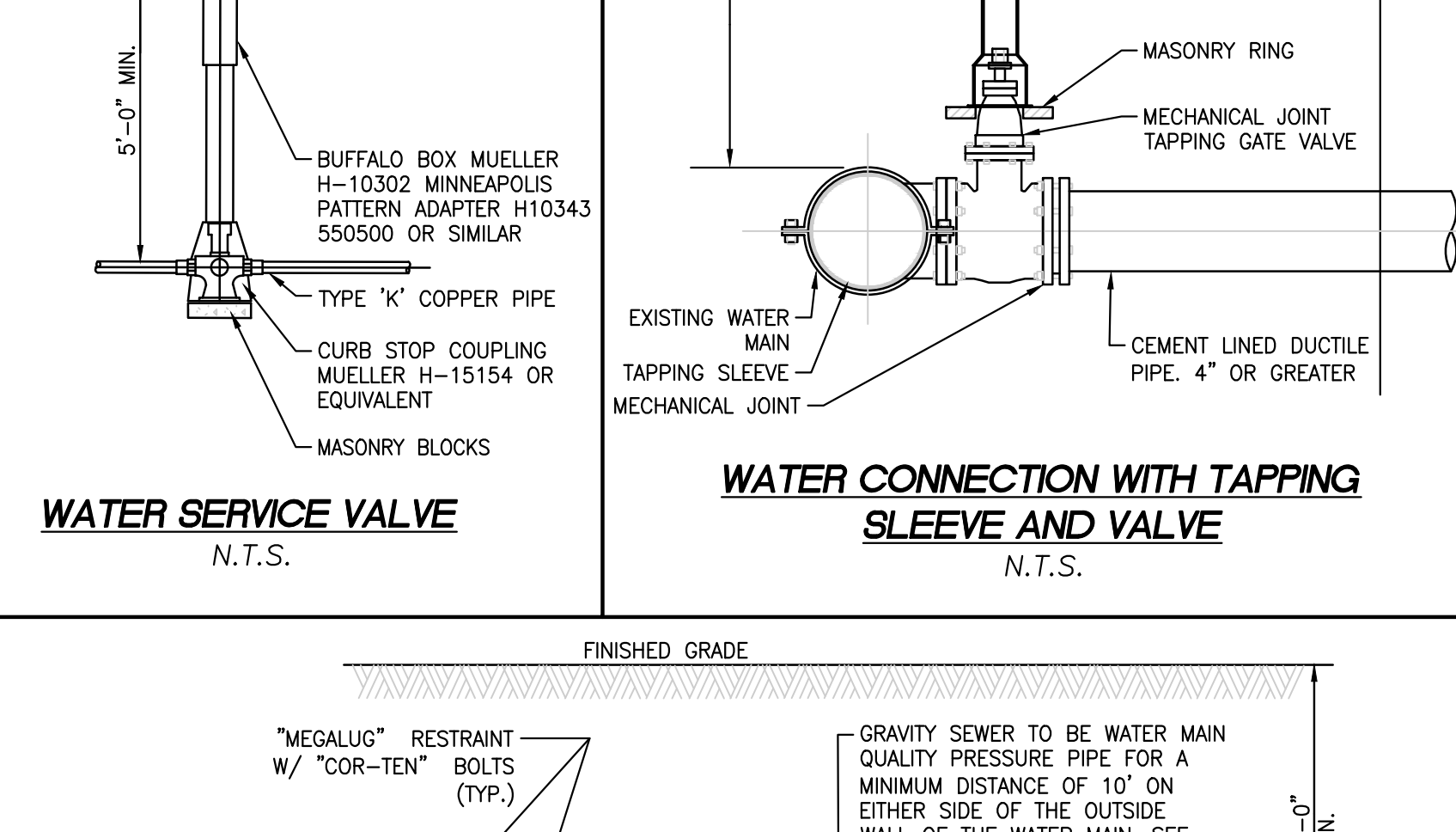
UNDERGROUND GATE VALVE
N.T.S.



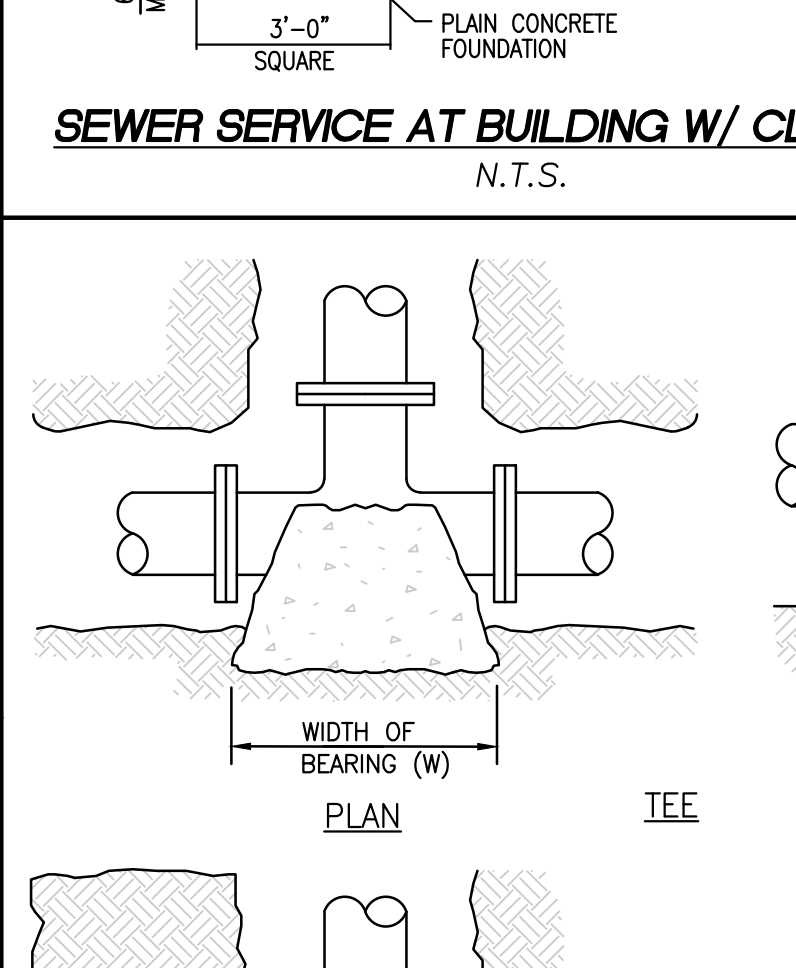
TYPICAL WATER SERVICE CONNECTION
N.T.S.



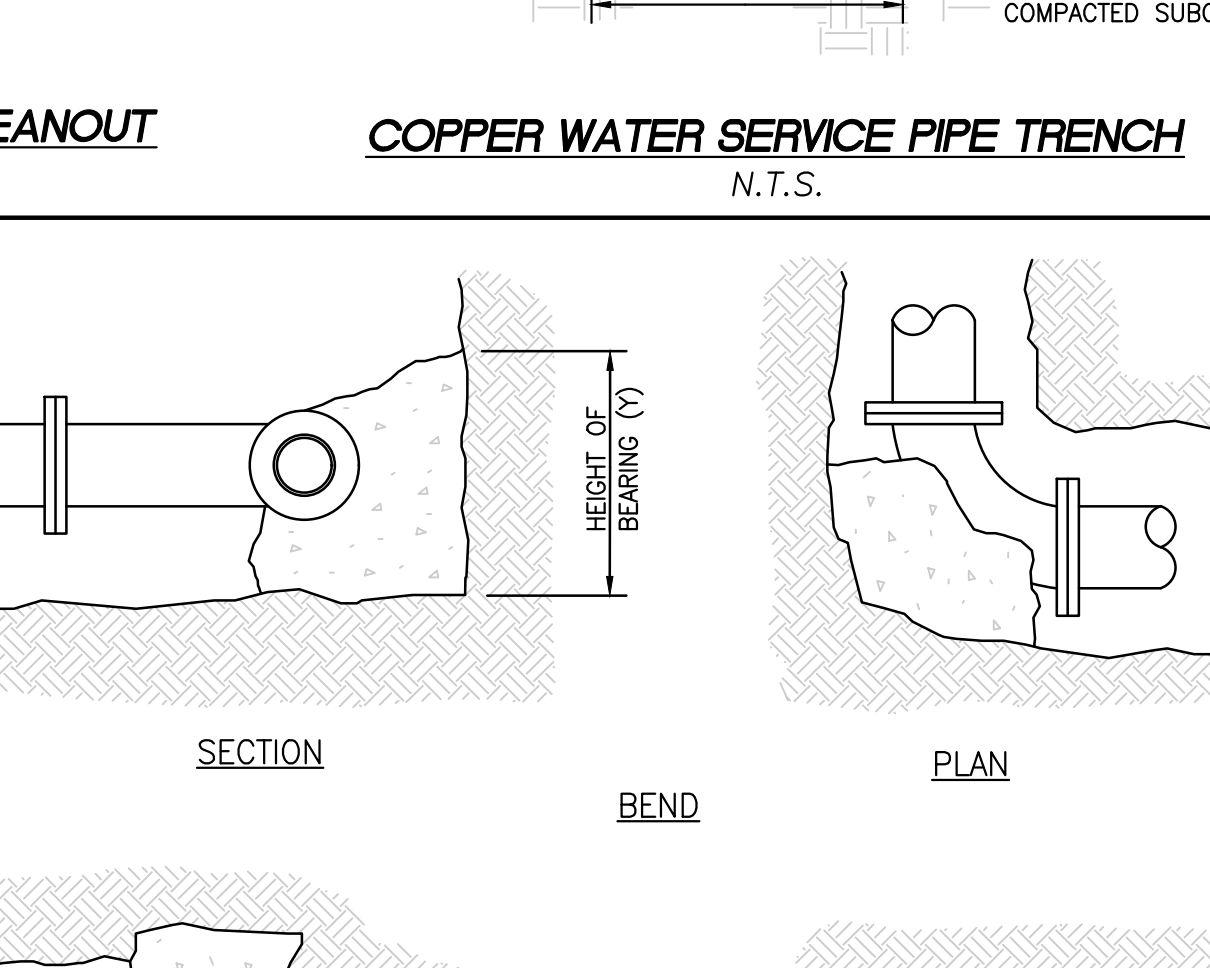
WATER SERVICE VALVE
N.T.S.



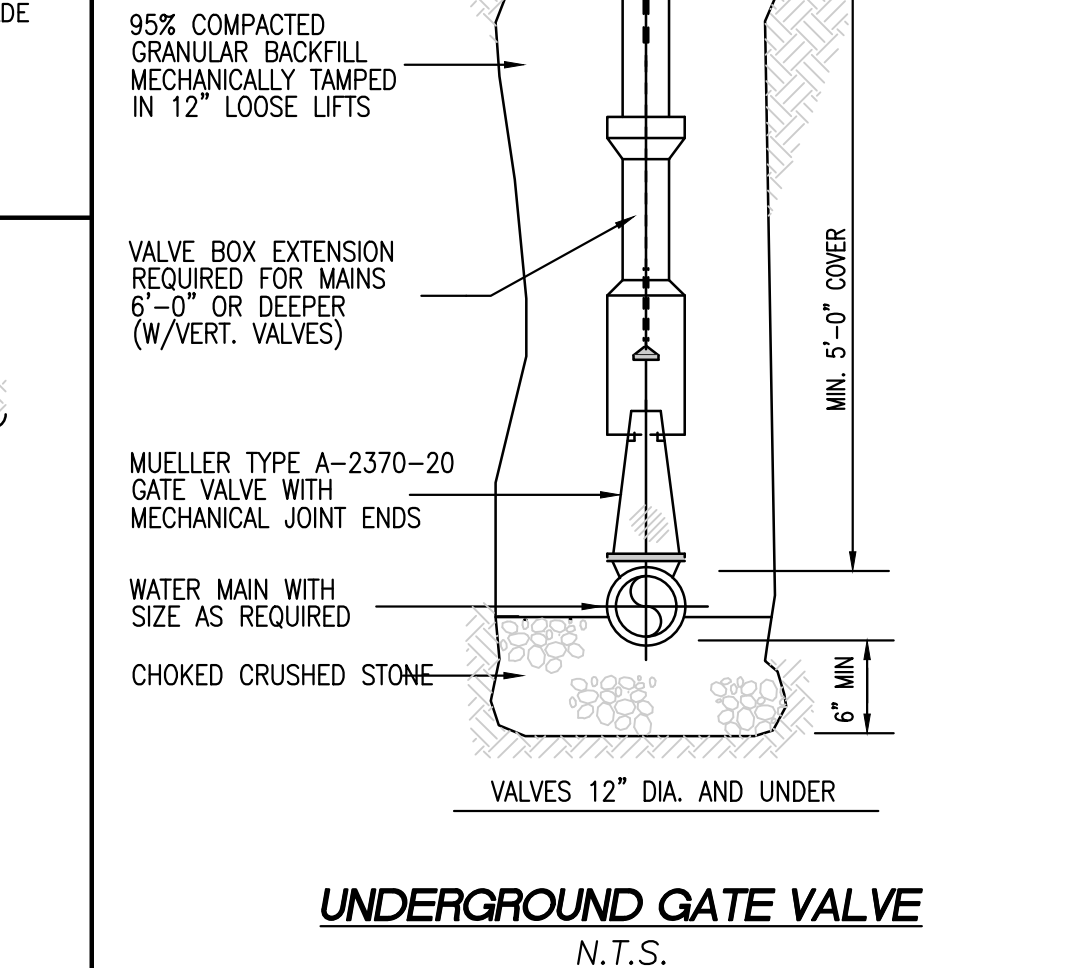
WATER CONNECTION WITH TAPPING SLEEVE AND VALVE
N.T.S.



TRUST BLOCKS FOR WATER SYSTEM
N.T.S.



TEE
N.T.S.



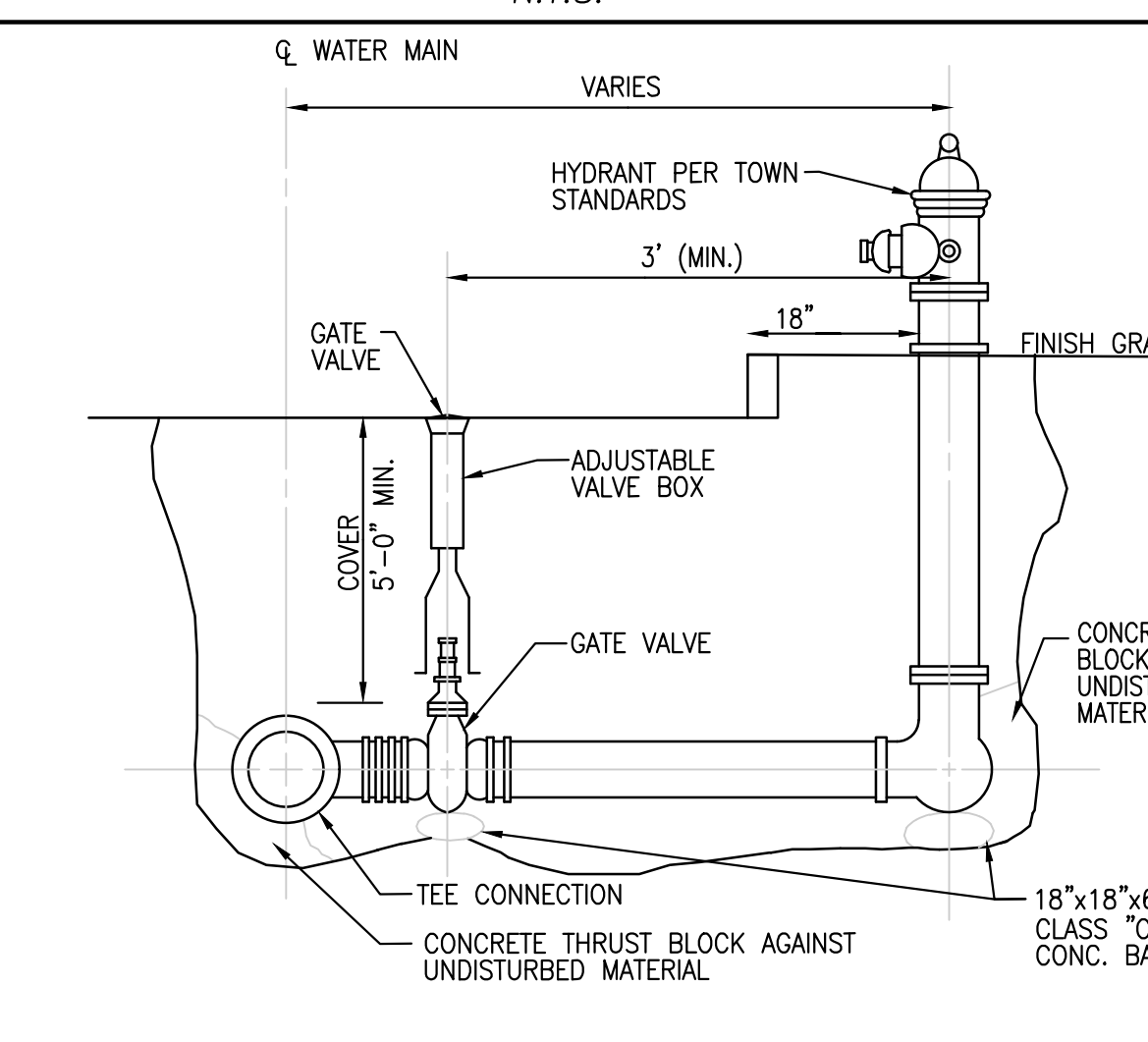
REDUCER
N.T.S.



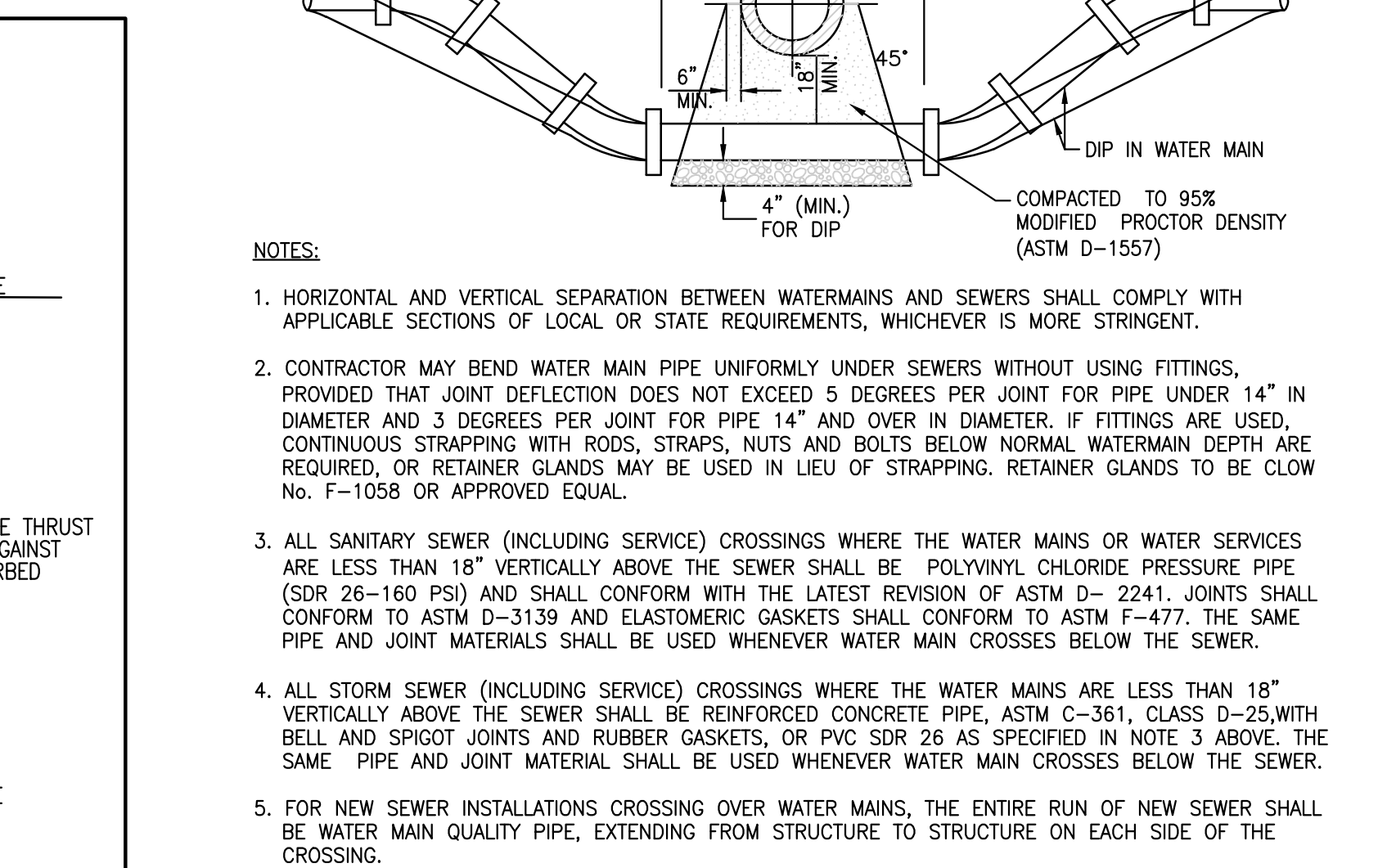
REVISION	DATE	BY

PROJECT LOCATION:
LOTS 2, 3, & 4
GRANDVIEW ROAD
READING, MA 01867
PARCEL ID:
MAP 27, LOT 404

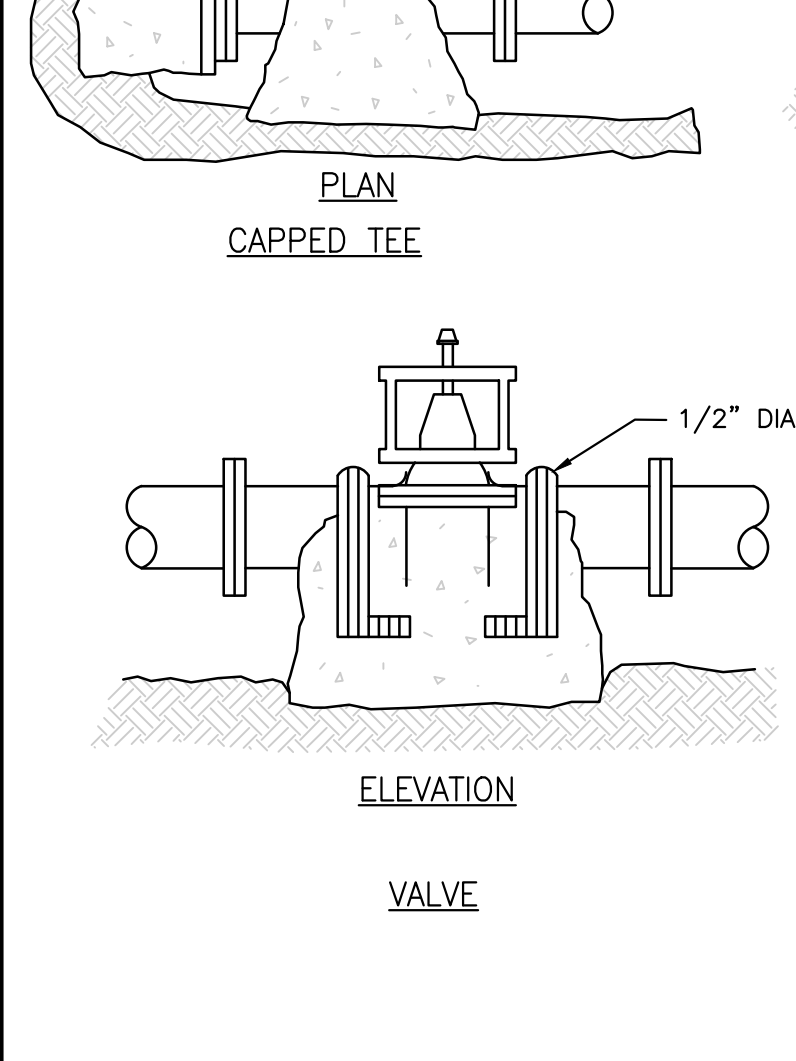
PLAN SET:
**MAJOR SITE PLAN MODIFICATION
GRANDVIEW ROAD SUBDIVISION - PRIVATE WAY
(GRANDVIEW ROAD EXTENSION)**
SCALE: N.T.S.
APRIL 20, 2023
SITE PLAN PERMIT SET



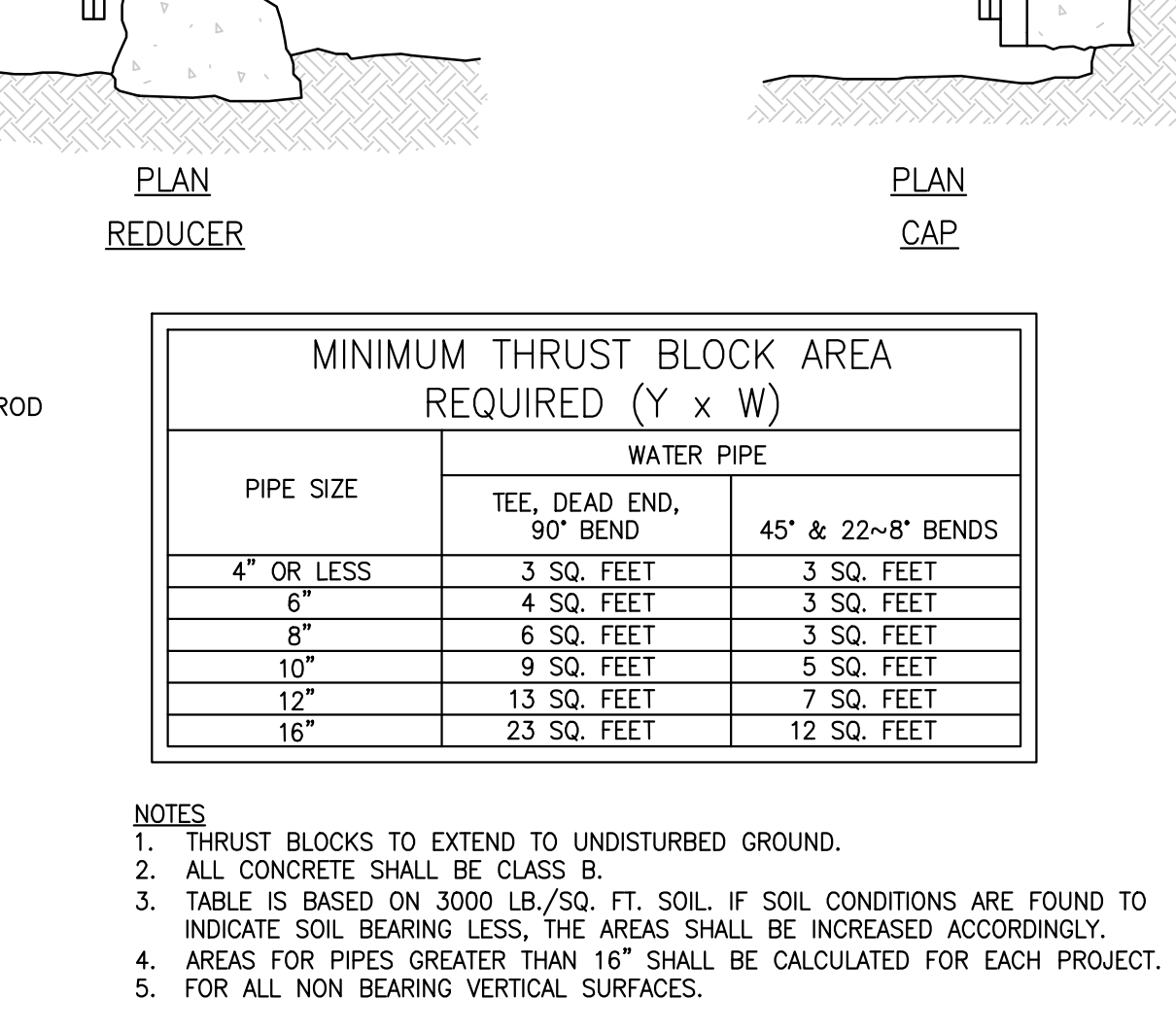
PROPOSED FIRE HYDRANT
N.T.S.



WATER MAIN CROSSING
N.T.S.



TEE
N.T.S.



REDUCER
N.T.S.

TOWN OF READING
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PROFESSIONAL SEAL

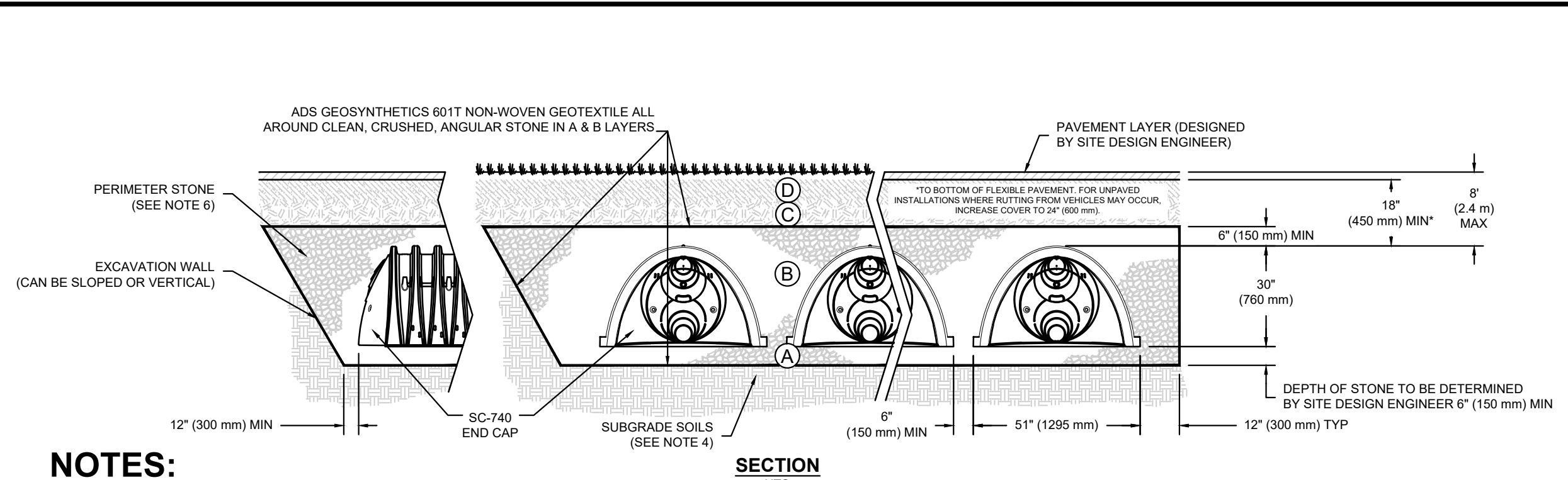
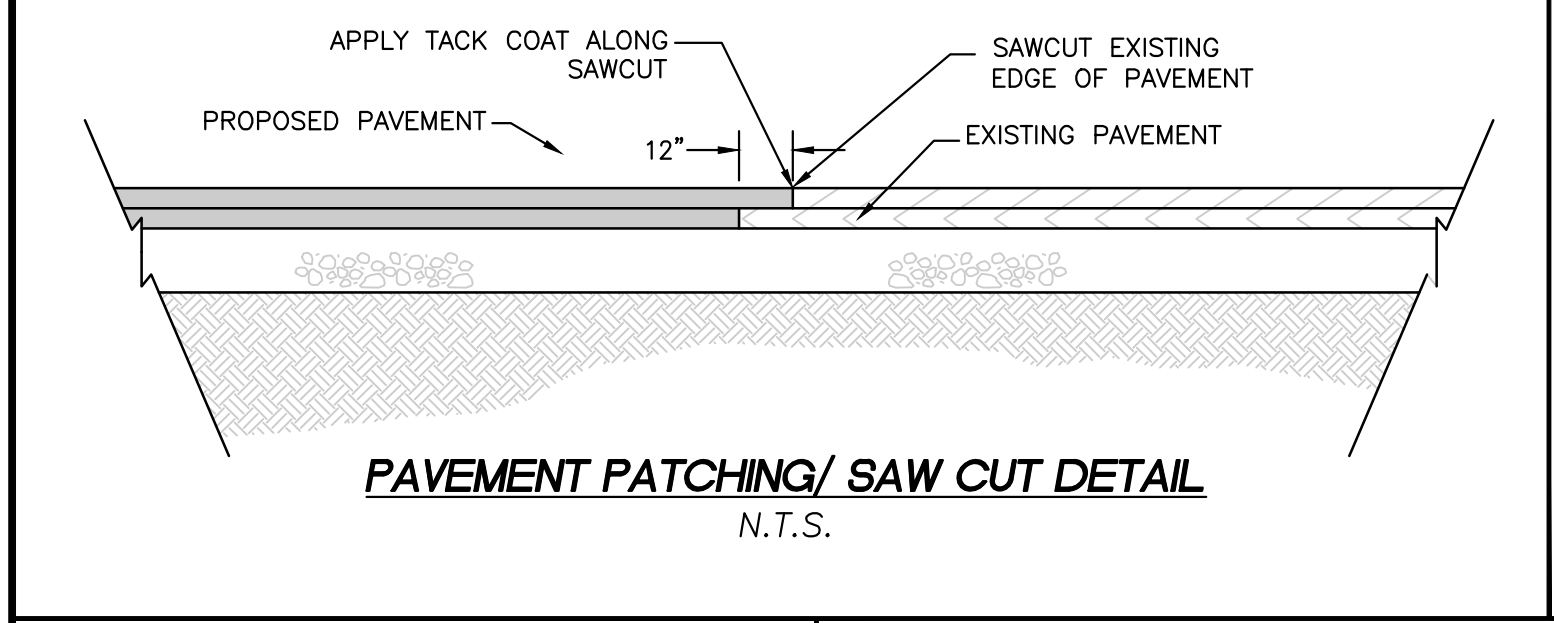
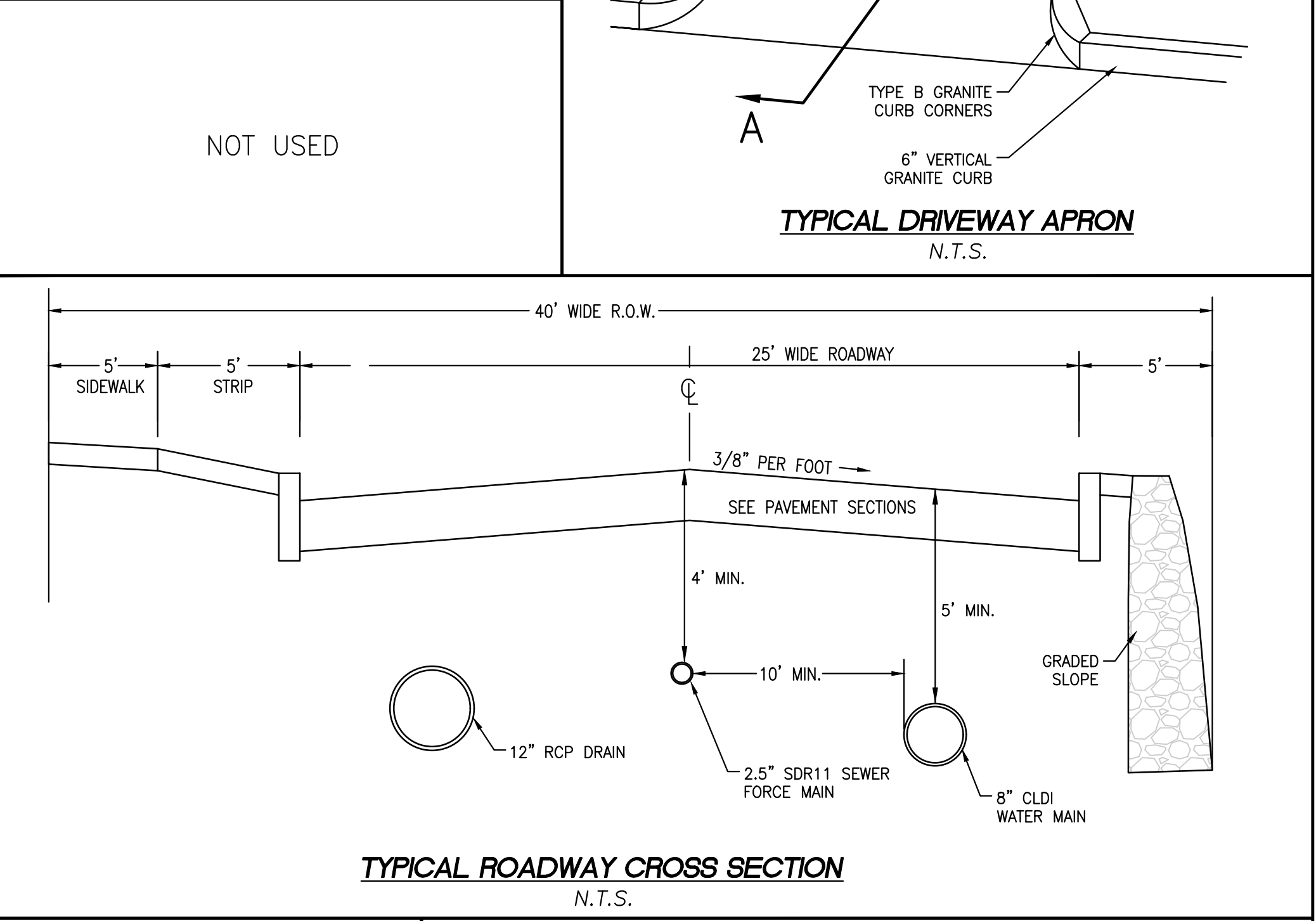
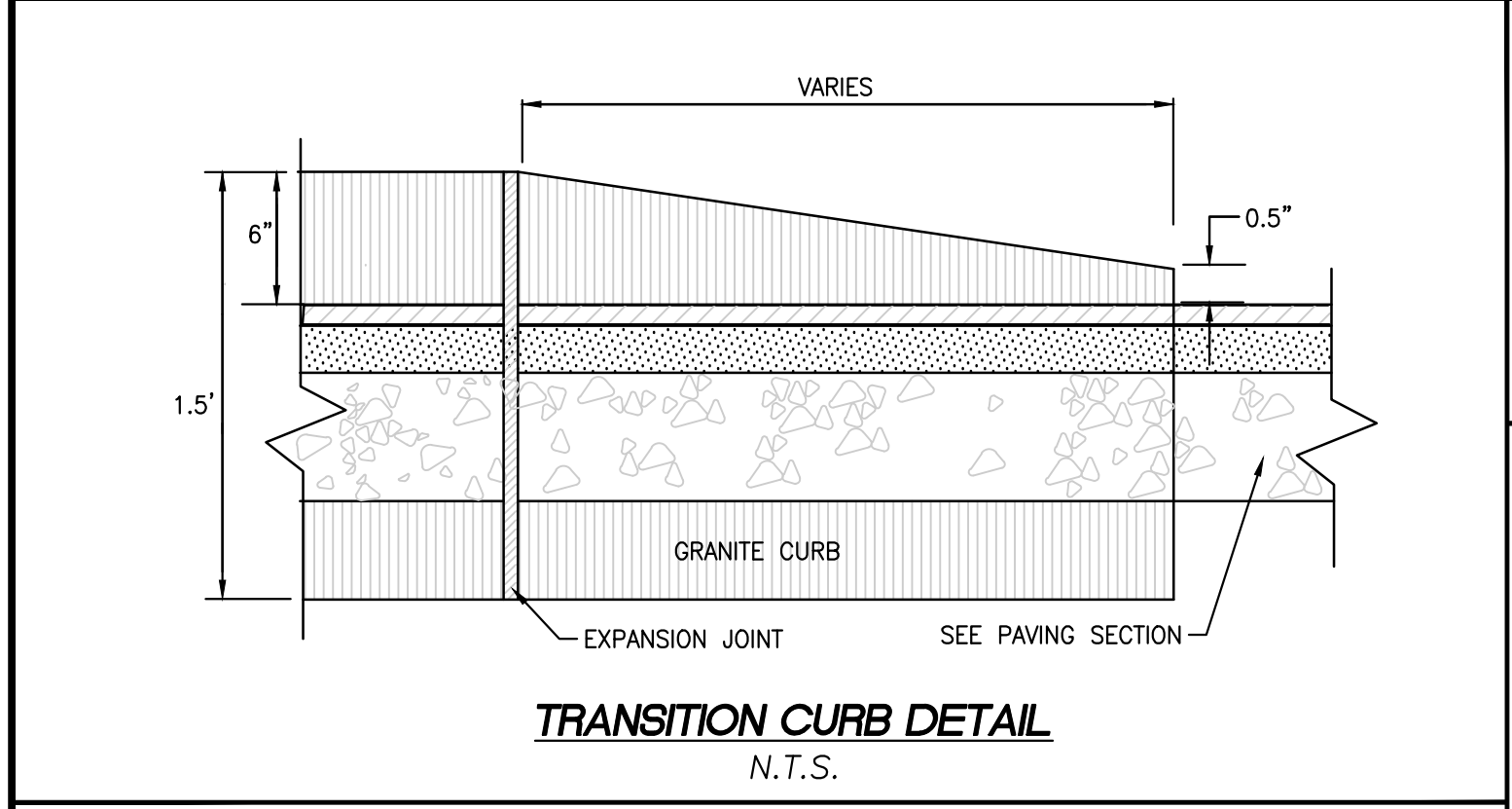
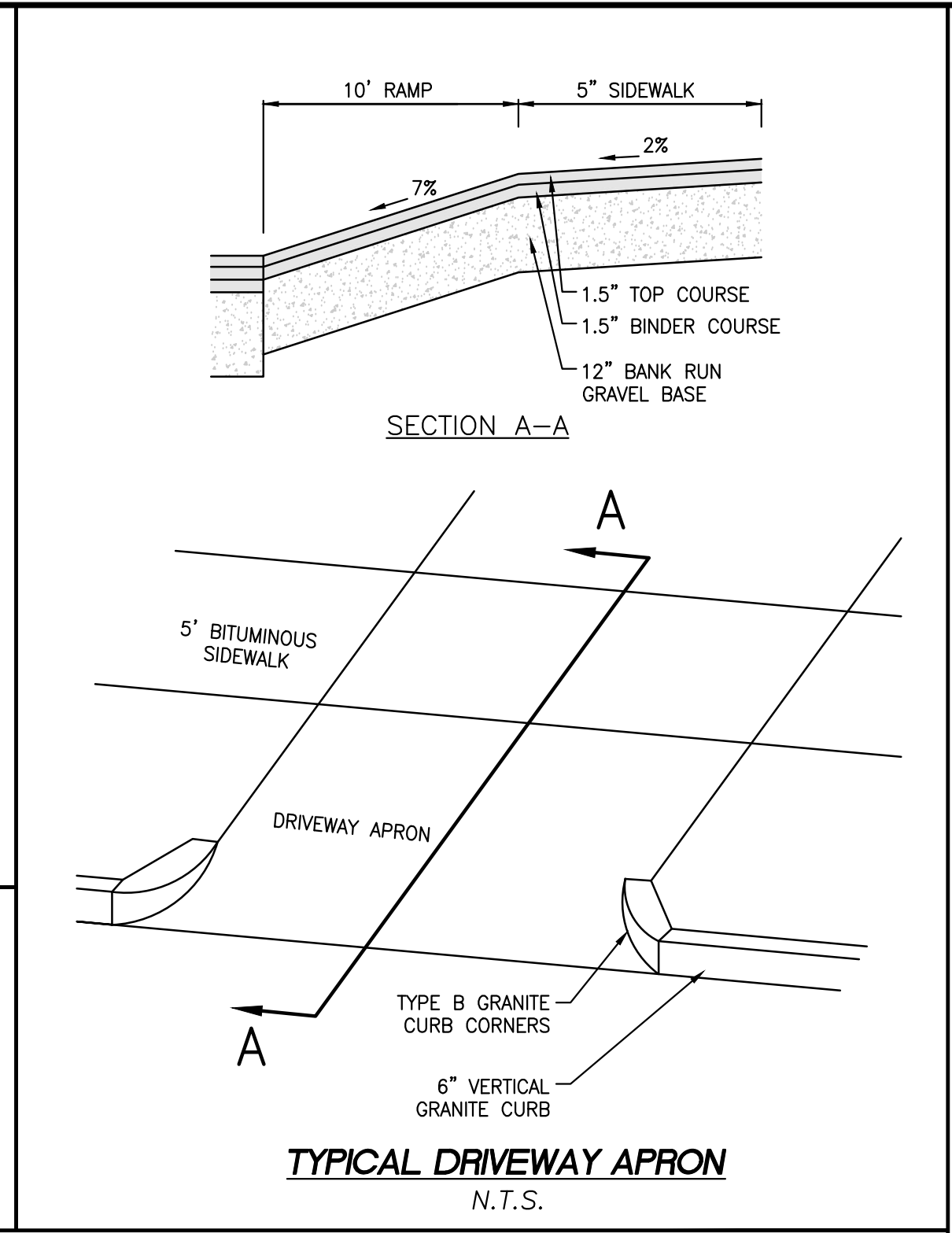
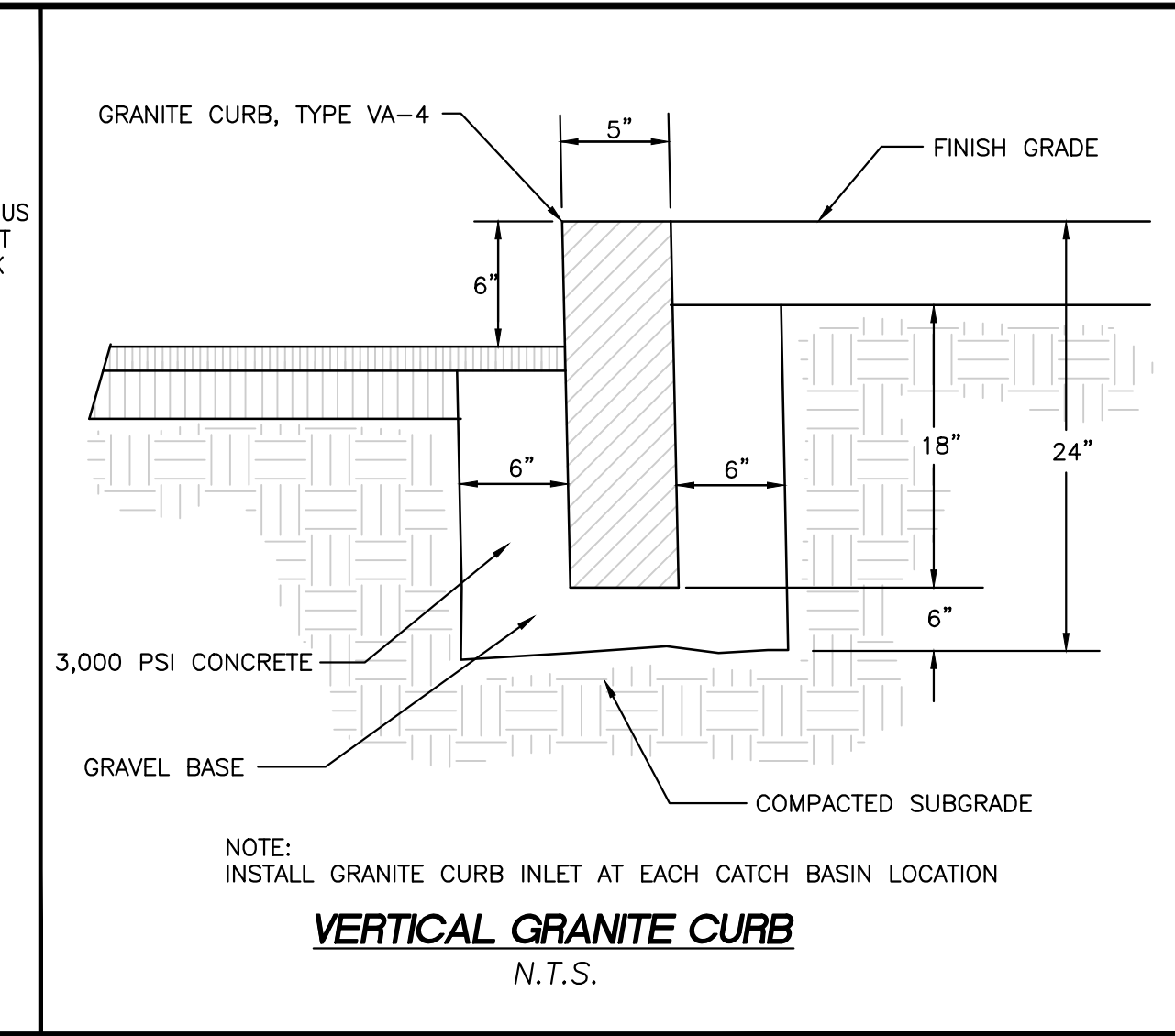
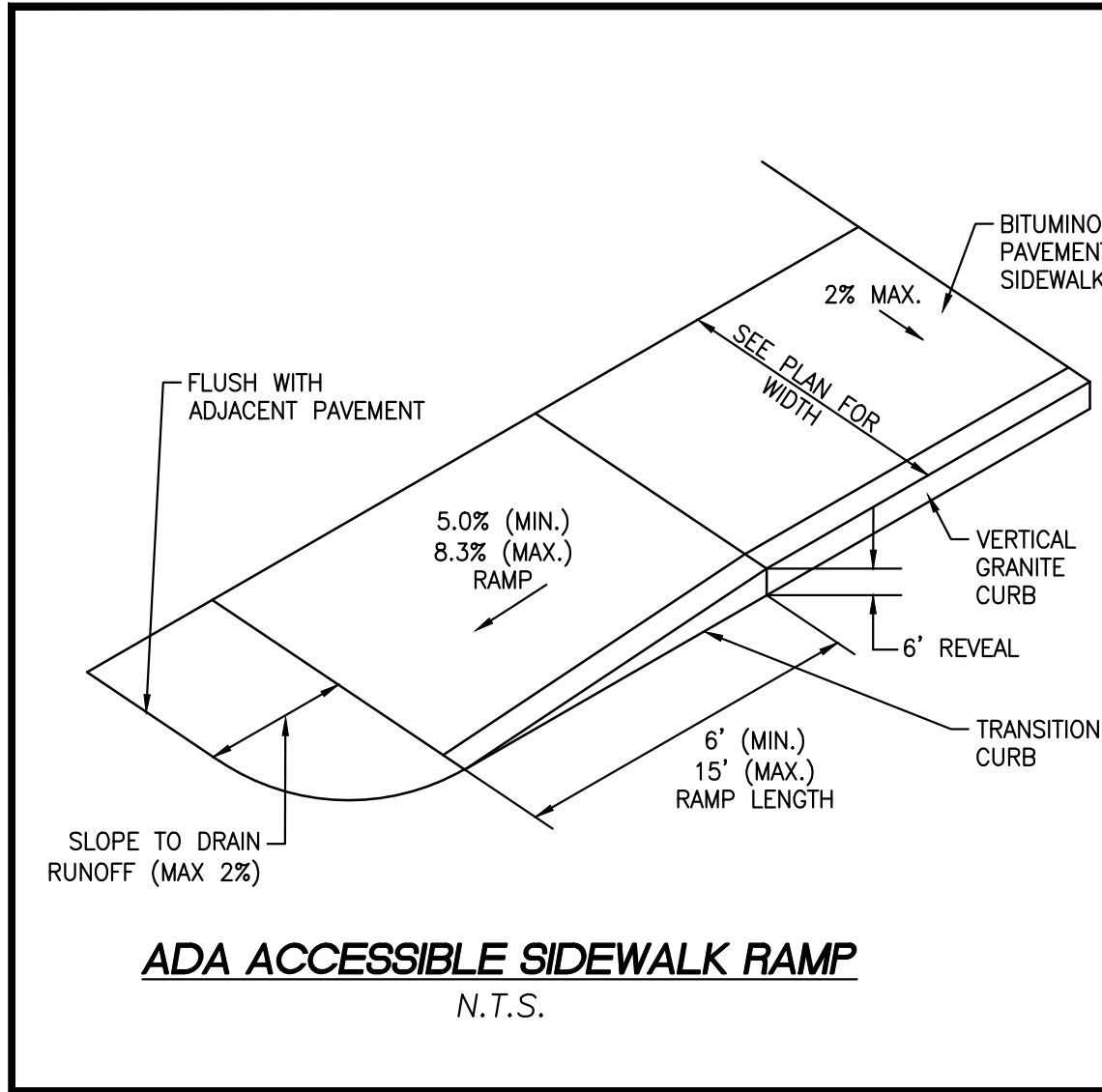
SURVEYOR:
PFS Land Surveying, Inc.
30 Balch Avenue
Groveland, MA 01834
P.978.891.5203
www.pfsland.com
PROFESSIONAL SEAL

REGISTERED PROFESSIONAL ENGINEER
GIOVANNI GAETANO FODERA
No. 54884

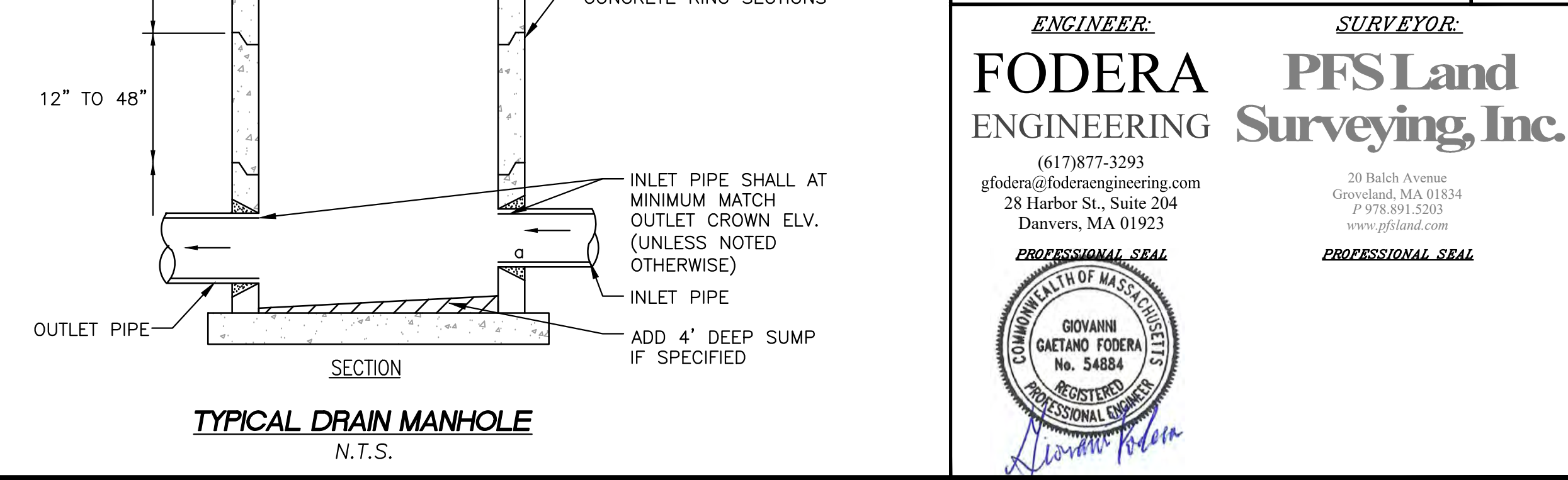
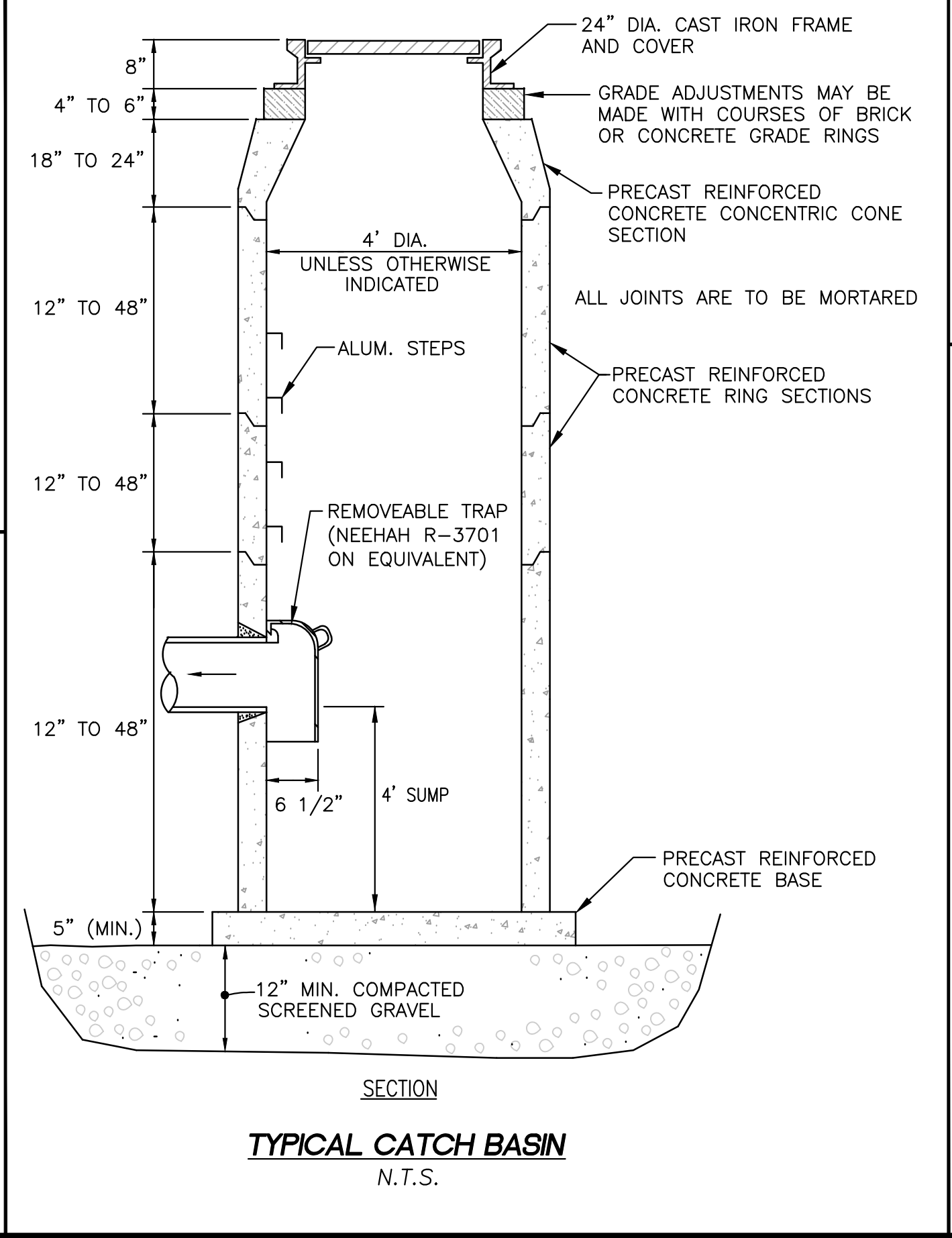
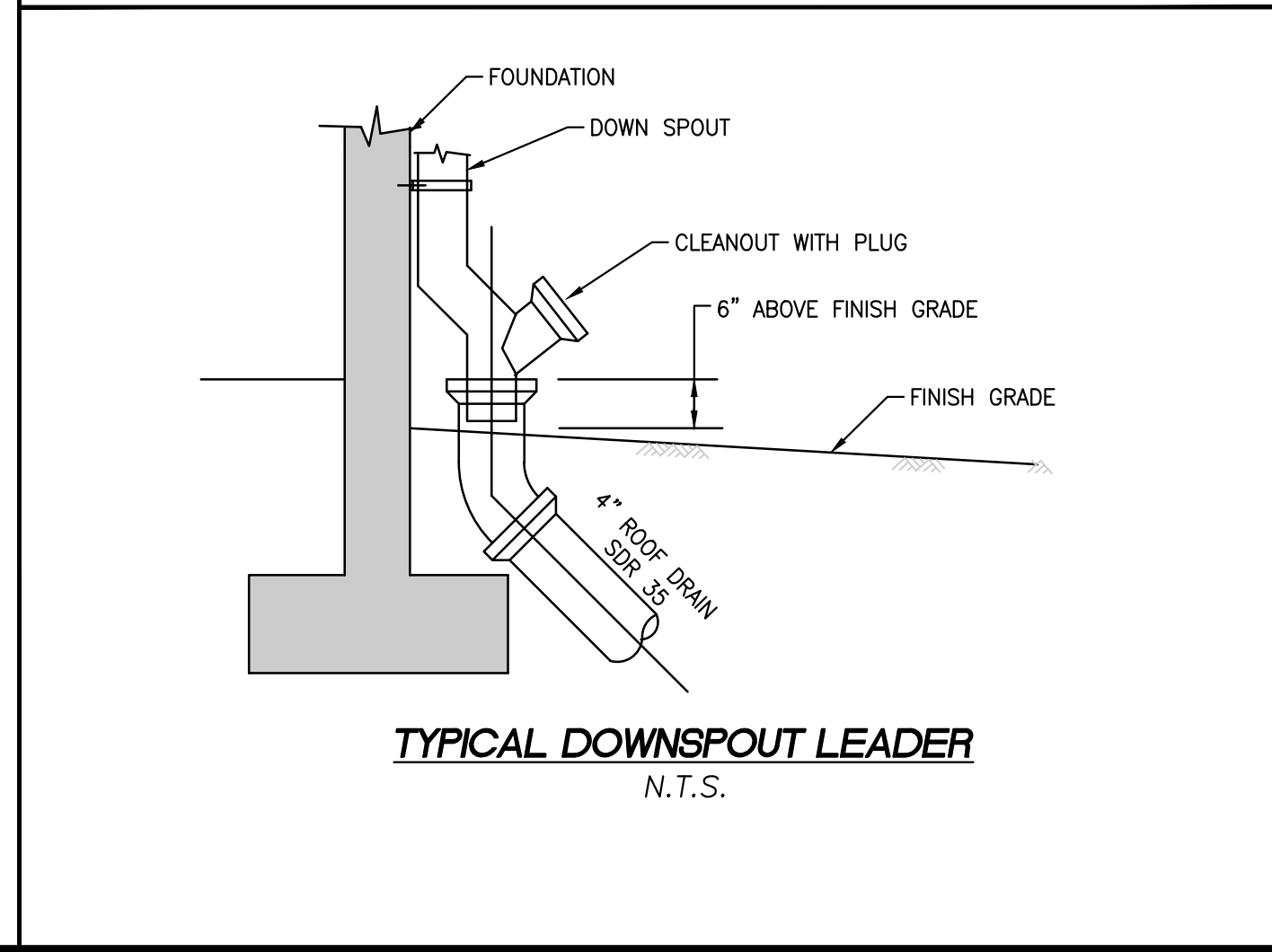
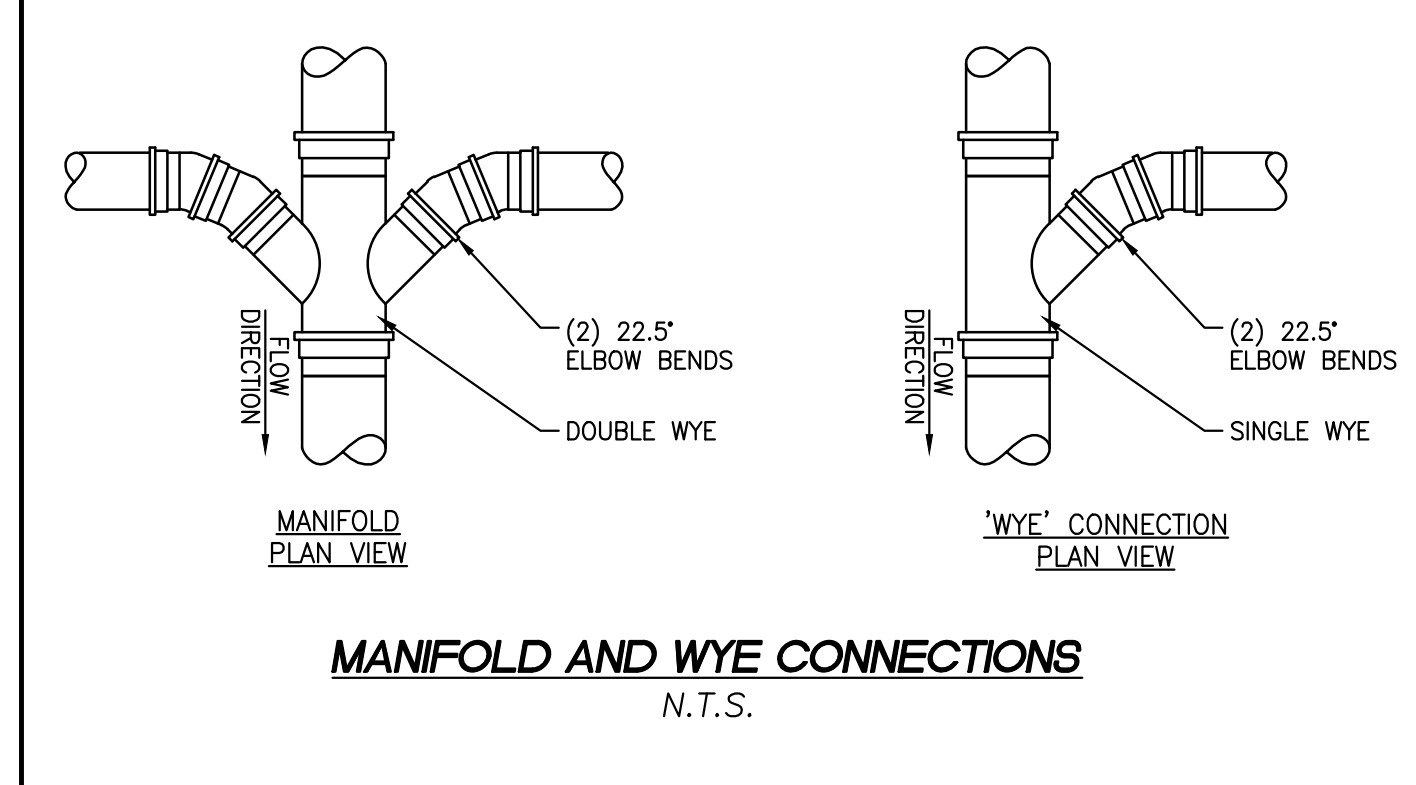
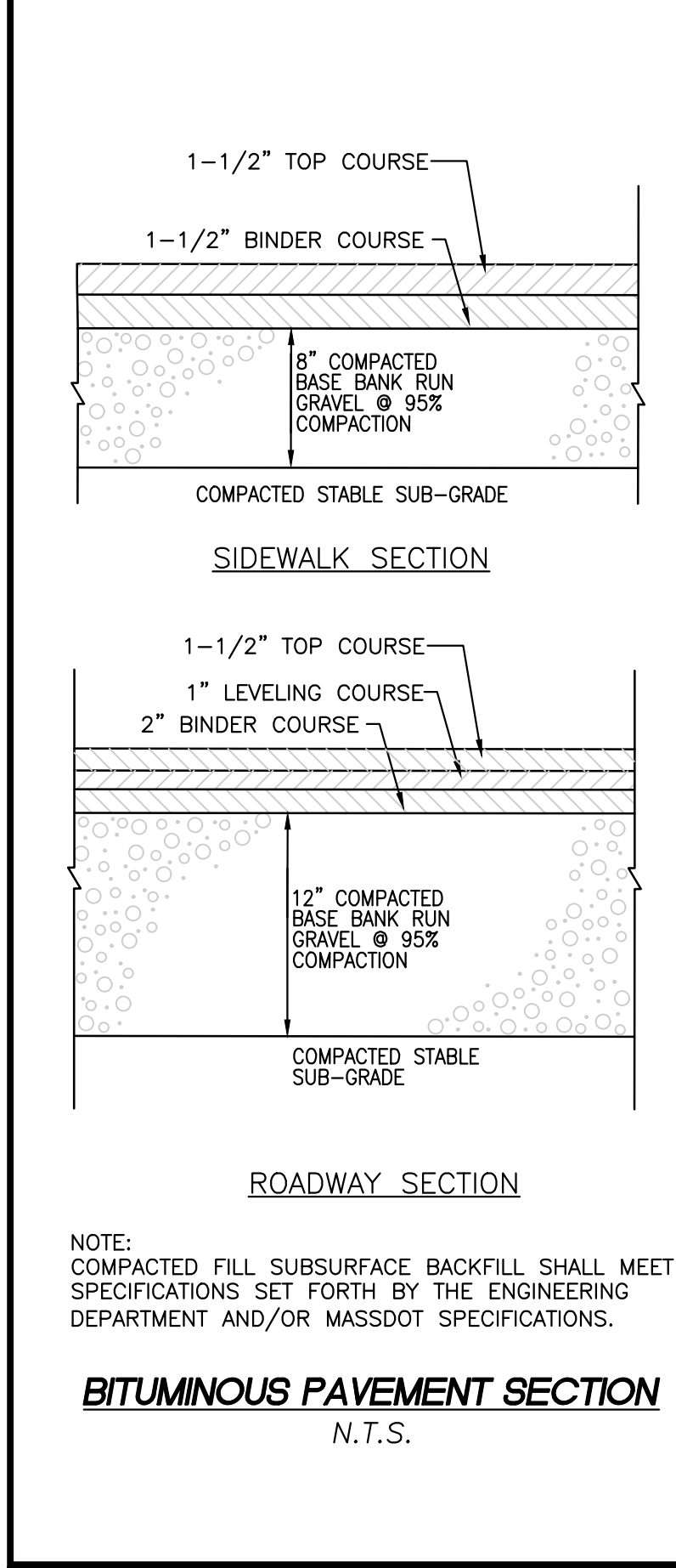
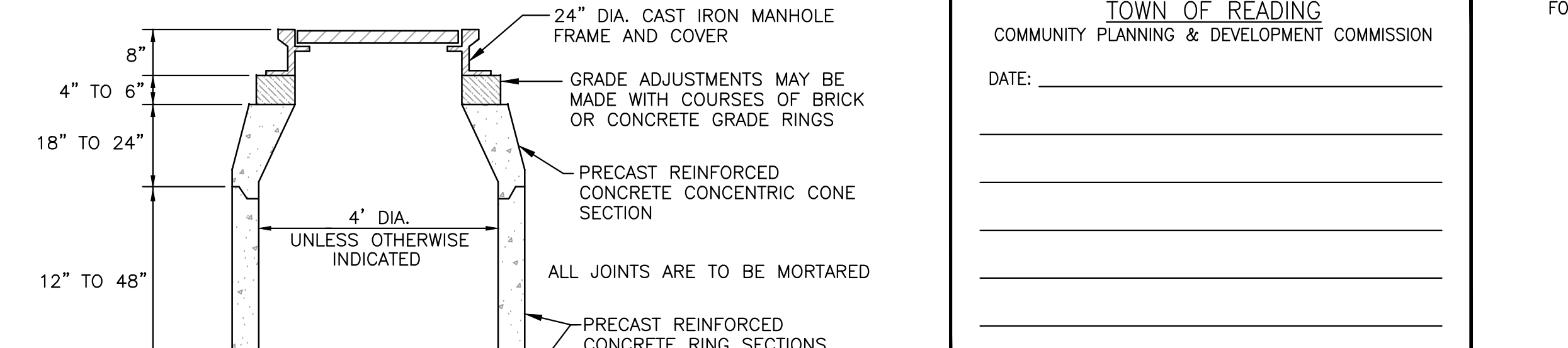
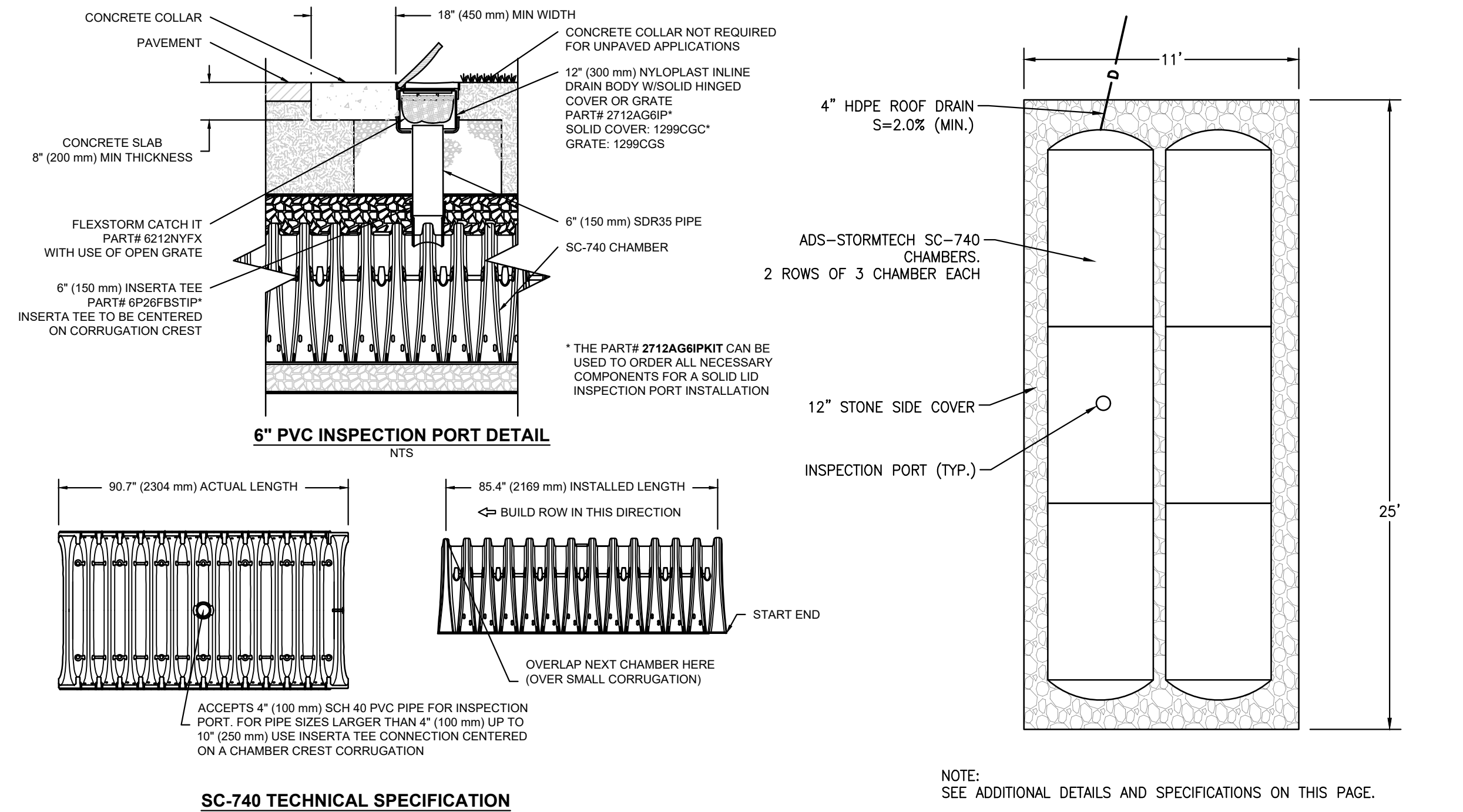
REGISTERED PROFESSIONAL SURVEYOR
GIOVANNI GAETANO FODERA
No. 54884

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JOB NO.: 20160-149
SHEET TITLE:
DETAILS SHEET 1
SHEET NUMBER:
C-6



- NOTES:**
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
 - "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
 - THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
 - PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
 - ONCE LAYER 'C' IS PLACED, ANY SOIL/MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



REVISION	DATE	BY

PROJECT LOCATION:
LOTS 2, 3, & 4
GRANDVIEW ROAD
READING, MA 01867

PARCEL ID:
MAP 27, LOT 404

PLAN SET:
MAJOR SITE PLAN MODIFICATION
GRANDVIEW ROAD SUBDIVISION - PRIVATE WAY
(GRANDVIEW ROAD EXTENSION)

SITE PLAN PERMIT SET

APRIL 20, 2023

SCALE: N.T.S.

TOWN OF READING
COMMUNITY PLANNING & DEVELOPMENT COMMISSION

DATE: _____

ENGINEER:
FODERA ENGINEERING
(617)877-3293
gfodera@foderaengineering.com
28 Harbor St., Suite 204
Danvers, MA 01923

SURVEYOR:
PFS Land Surveying, Inc.
30 Balch Avenue
Groveland, MA 01834
P.978.891.5203
www.pfsland.com

PROFESSIONAL SEAL
GIOVANNI GAETANO FODERA
No. 54884
REGISTERED PROFESSIONAL ENGINEER

PROFESSIONAL SEAL
PFS Land Surveying, Inc.
REGISTERED SURVEYOR

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JOB NO.: 20160-149

SHEET TITLE:
DETAILS
SHEET 2

SHEET NUMBER:
C-7

MAP 27 LOT 412 ??

MAP 27 LOT 395
43 CHESTNUT ROAD
N/F JOSEPH A. & ANASTASIA DASILVA
BK. 63558 PG. 132

MAP 27 LOT 387
37 CHESTNUT ROAD
N/F MARK J. & WHITNEY GOODHUE
BK. 41088 PG. 311

MAP 27 LOT 368
101 BEACON STREET
N/F LOREN M. BEVERE
BK. 41766 PG. 37

MAP 27 LOT 369
99 BEACON STREET
N/F PHILLIP M. & PHOEBE M. JOHNSON
BK. 31772 PG. 314

MAP 27 LOT 370
89 BEACON STREET
N/F MICHAEL E. DECROTEAU
BK. 65729 PG. 490

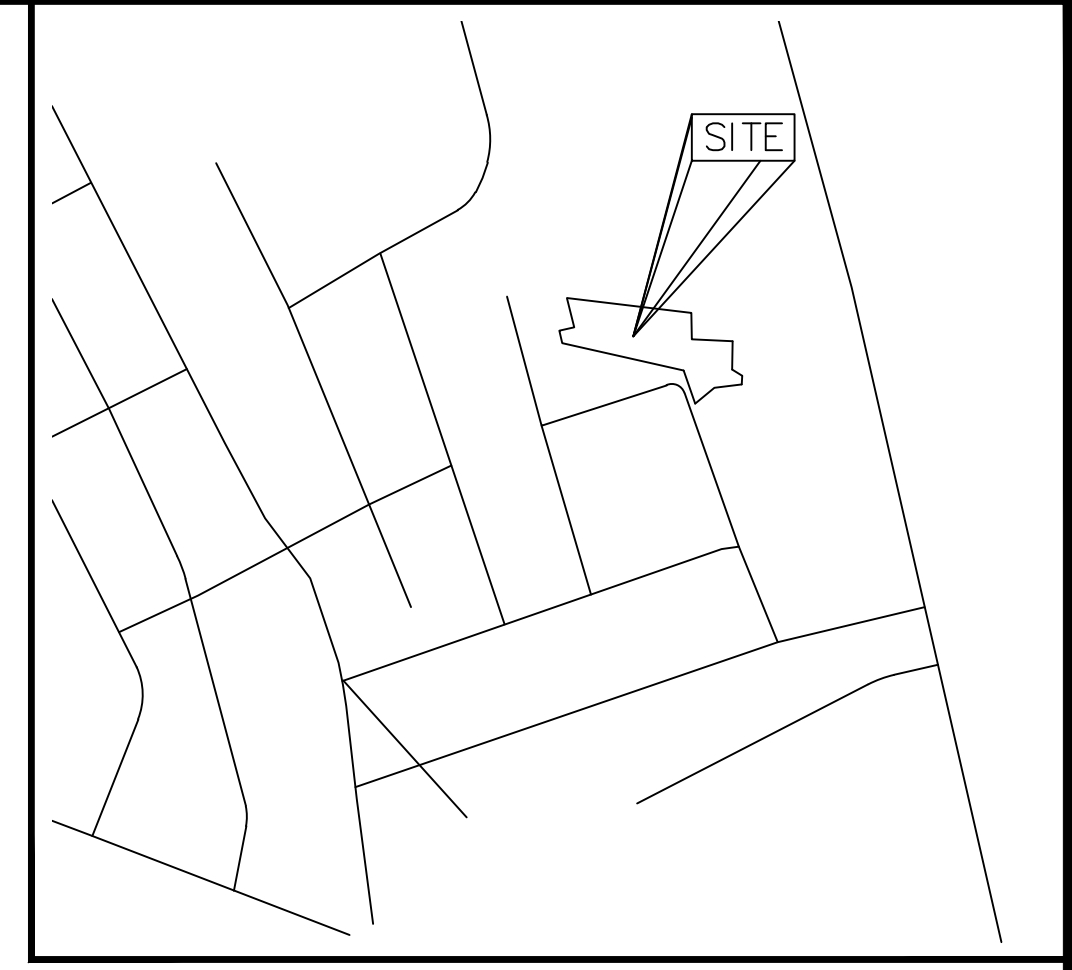
MAP 27 LOT 371
36 BEACON STREET
N/F BEACON STREET 2012 REALTY TRUST
JOHN L. CHSOLITO, JR. TRUSTEE

MAP 27 LOT 404
4 COLDSRING ROAD
N/F PENNY A. JEAN
BK. 49389 PG. 45

MAP 27 LOT 397
590 MAIN STREET
N/F MARY ELIZABETH & JOHN JOYCE
BK. 25762 PG. 537

MAP 27 LOT 386
17 BETHEDA LANE
N/F DAKIS S. & KIMBERLY A.
KOUTOUIDES
BK. 67624 PG. 315
PLAN: BK. 26835 PL. 160

MAP 27 LOT 378
39 BEACON STREET
N/F CHRISTOPHER K. & SARAH WILMER
BK. 57188 PG. 116



VICINITY PLAN
SCALE: 1" = 500'

TOTAL PARCEL AREA
59,746 S.F.±
1.372 ACRES

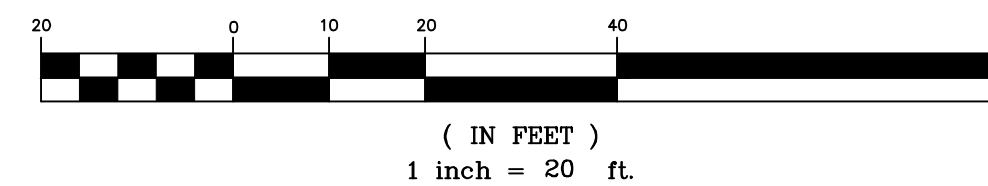
ZONING DATA:

ZONING DISTRICT - SINGLE FAMIL S-15

MINIMUM LOT AREA	15,000 SQ. FT.
MINIMUM LOT FRONTAGE	100 FT.
MINIMUM FRONT YARD	20 FT.
MINIMUM SIDE YARD	15 FT.
MINIMUM REAR YARD	20 FT.
MAXIMUM LOT COVERAGE	25 %
MAXIMUM BUILDING HEIGHT	35 FT.

SITE PLAN
SCALE: 1" = 20'

GRAPHIC SCALE



DATE: 10/13/22

PROPOSED PLAN OF LOTS
ASSESSOR'S MAP 27, LOT 411
45 BEACON STREET
READING, MASSACHUSETTS

OWNER & APPLICANT:
ANGELO SALAMONE
45 BEACON STREET, READING MA MA 01867

GA CONSULTANTS, INC. PROFESSIONAL ENGINEERS
& LAND SURVEYORS
10 STATE STREET, NEWBURYPORT, MA 01950 TEL. 978-502-5197

Memo

To: Andrew MacNichol, Community Development Director
From: Alex Rozycki, P.E., Senior Civil Engineer
CC: Ryan A. Percival, P.E., Town Engineer; Mary Benedetto, Senior Planner
Date: April 27, 2023
Re: Grandview Road Extension

Materials reviewed:

- Proposed Site Plans entitled; "Major Site Plan Modification- Grandview Road Subdivision prepared by Fodera Engineering dated April 20th 2023"
- Site Plan Set entitled "Penny Lane Subdivision – Grandview Road Extension – Private Way; prepared by Fodera Engineering; dated December 2nd 2020"

The Engineering Division has reviewed the proposed site application for the proposed project and offers the following comments:

- Previous plans for the southernmost home included roof drainage tied into the infiltration system, there are concerns that the adjacent property will now receive stormwater flows given the grades. The stormwater report indicates all impervious area will be captured, does that include hardscapes on the lots? The previous plan captured impervious areas on individual lots.
- The infiltration chamber design under the endorsed plans will allow for more land use in the backyard areas, the proposed detention pond design eliminates the use of land.
- Engineering sees no reason to support the waiver allowing less cover on utilities, there appears to be no benefit to support such a waiver.
- The Engineering Department does not approve of gas lines or electrical services, those shall be coordinated and approved by others.
- There are many instances of utilities crossing, we are particularly concerned with the crossing of water and sewer. Crossings should be limited, and invert elevations of the services may be requested to ensure proper separation.
- Inverts of the existing sewer manhole should be provided, as well as a detail for the force main connection.
- MaDEP regulations may not allow for discharge of water or overflow rip-rap within 10 feet of a property line.
- NPDES MS4 permit requirements shall be met for TSS removal and Phosphorous reduction. The supporting calculations should be provided and reviewed by Engineering. The project will also require a Storm Water Pollution Prevention Plan as well as an O&M plan for the proposed detention basin.
- A Sewer Connection I/I fee is required.
- The driveway curb cuts shall meet Town of Reading standard cross sections. The proposed elevations are unclear in these areas, all driveways will be approved individually.
- All utilities shall be approved materials and installed in accordance with the Department of Public Works Standards.
- Engineering Division shall be notified 72 hours in advance to mark out Town utilities.
- All water, sewer, curb cut, street opening and Jackie's Law excavation permits shall be obtained at the Engineering Division prior to any excavations.
- All site work shall be inspected by the Engineering Division. The Applicant/Owner's contractor shall submit a construction schedule of proposed work. All inspections shall be scheduled 48 hours in advance.
- An approved site as-built shall be submitted to the Engineering Division within 60 days of certificate of occupancy. The as-built shall be submitted in mylar and electronic ACAD format.

FODERA
ENGINEERING
28 Harbor Street, Suite 204
Danvers, MA 01923
Tel: (617) 992-8492
contact@foderaengineering.com

March 10, 2023

To: Andrew MacNichol, Community Development Director
Town of Reading
Community Planning and Development Commission
16 Lowell Street
Reading, MA 01867

**RE: GRANDVIEW ROAD SUBDIVISION
SITE PLAN MODIFICATIONS
4 COLD SPRING ROAD
READING, MA 01867**

To Mr. MacNichol,

The project at 4 Cold Spring Road known as Grandview Road Subdivision was approved by the Community Planning and Development Commission (CPDC) and a Decision of Approval was issued and dated February 8, 2021. The approved plans were endorsed and recorded at the Middlesex South District Registry of Deeds (M.S.D.R.D.) as Plan 754 of 2022. A deed for the subdivision was recorded as Book 80930 Page 320.

The site has since been revisited and site design changes have been made. The following is a summary of the revisions.

- Lot 2 will remain undeveloped but with the potential to be developed in the future.
- Lot 1 will keep the existing on-site shed and an associated easement into Lot 2 has been created for the encroachment.
- Relocated electric easement on Lot 2.
- The stormwater subsurface infiltration system has been replaced with a detention/infiltration basin and revised the drainage easement accordingly.
- The roadway has been regraded to create a low point at the end of the cul-de-sac.
- The building footprints for Lots 3 and 4 have increased from 1,925 sq-ft to 2,200.
- Created a larger backyard for Lot 4.
- Associated stormwater runoff calculations have been revised and the stormwater report has been updated.

Proposed stormwater pipes have reduced to just two (2) pipes and are at the end of the roadway, directed into the proposed infiltration basin. Cover above the pipes are approximately 2.5 feet, which will require a waiver from Section 7.4.4.3.e of the Subdivision Rules and Regulations dated August 26, 2006. The waiver is to accept a 2.5' cover above the drain pipes, which is less than the required four (4) feet and three (3) in vehicular roadways and easements, respectively.

Please accept this submittal as formal request for review. Please do not hesitate to call or email me shall you have any questions, comments, or concerns.

Sincerely yours,



Giovanni Fodera, P.E.

Principal Engineer

FODERA Engineering

Attachments:

- Major Site Plan Modification – Grandview Road Subdivision, dated March 10, 2023.
- Stormwater Management Report, Major Site Plan Modification, dated March 10, 2023.
- M.S.D.R.D. Plan 754 of 2022
- M.S.D.R.D. Book 80930, Page 320.

Cc: Michael Salamone
Frank Lanzillo

A2



Bk: 80930 Pg: 320 Doc: DEED
Page: 1 of 2 11/09/2022 03:01 PM

Quitclaim Deed

PENNY A. JEAN, a single woman, of 4 Cold Spring Road, Reading, Massachusetts, for nominal consideration of Ten dollars (\$10.00), grant to:

GRANDVIEW, LLC, a Massachusetts limited liability company, of 45 Beacon Street, Reading, Massachusetts

With ***QUITCLAIM COVENANTS***

The land in Reading, Middlesex County, Massachusetts identified as Lots 2, 3 and 4, together with the fee in the land shown as "Grandview Road", as shown on a Subdivision Plan entitled "*Grandview Road Subdivision – Private Way, Grand View Road Extension*" prepared by Fodera Engineering, 28 Harbor Street, Suite 204, Danvers, MA 010923, dated December 3, 2020, revised through July 12, 2021, and which Plan is recorded herewith. Said land is conveyed subject to and with the benefit of all easements, agreement, covenants, and provisions of record. No right, title or interest is conveyed in, to or over the property shown as Lot 1 on said Plan, which is retained by the Grantor.

Grantor hereby releases and terminates any and all claims of homestead in the premises conveyed hereby, and further hereby state that no other person is entitled to claim the benefit of an existing state of homestead in the premises conveyed hereby.

Meaning and intending to convey a portion of the land conveyed to the Grantor by deed dated May 2, 2007, and recorded in the Middlesex County Registry of Deeds at Book 49389, Page 45.

Property Address: Lots 2, 3 and 4 and Grandview Road Extension, Reading, Massachusetts 01867

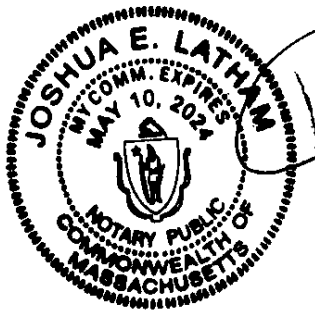
Executed as a sealed instrument this 25TH day of OCTOBER 2022.

Penny A Jean
Penny A. Jean

Commonwealth of Massachusetts

Middlesex, ss.

On 25TH day of October, 2022, before me, the undersigned notary public, personally appeared Penny A Jean, the above-named and proved to me through satisfactory evidence of identification being PERSONAL KNOWLEDGE, to be the persons whose names are signed on this document, and acknowledged to me that she signed it voluntarily for its stated purpose and that the foregoing instrument is her free act and deed.



[Signature]
Notary Public: JOSHUA E. LATHAM
My Commission Expires: 5/10/24

SEE PLANS 754 OF 2022



REVISION	DATE	BY
REVISION 1	12/29/23	GFJ
CONSERVATION	2/17/23	GFJ
ENFORCEMENT SET	7/19/23	GFJ

PROJECT LOCALITY:
 4 COLD SPRING RD
 READING, MA 01867

DRAWN BY:
 MAP 27, LOT #04

PROJECT: GRANDVIEW ROAD SUBDIVISION - PRIVATE WAY (GRANDVIEW ROAD EXTENSION)

DATE: FEBRUARY 9, 2020

ENDORSEMENT SET

SCALE: 1" = 20'

RIGHT-OF-WAY STATEMENT
 THE PROPOSED RIGHT-OF-WAY FRONT, SOUTH OF THE INTERSECTION FROM COLD SPRING ROAD AND GRANDVIEW ROAD, IS PROPOSED AS A PRIVATE WAY FOR ALL LAND OWNERS N AND ADJUTING THE SUBDIVISION, AND WILL BE SHOWN IN WAYS AS SHOWN ON ROAD.

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- WETLAND BOUNDARY
- RANGE MEASUREMENT
- WETLAND FLAG
- STONE BOUND WITH DRILL HOLE

GENERAL NOTES

- WETLANDS WERE FLAGGED BY LEG ENVIRONMENTAL CONSULTANTS IN JUNE 2020.
- THE PROJECT IS LOCATED OUTSIDE OF ANY PROTECTED RESOURCE AREAS AND FLOOD ZONES AS DETERMINED BY THE MOST RECENTLY PUBLISHED DATA FROM THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION AND FEMA.
- IN USE OF A RETAINING WALL LOCATED IN THE RIGHT-OF-WAY ALONG THE WESTERN BOUNDARY OF GRANDVIEW ROAD, A TEMPORARY 20' FEET WIDE SLOPE EASEMENT IS PROPOSED ON TOWN PROPERTY AND SHALL BE APPROVED BY THE TOWN. SEE SHEET C-5 FOR GRADING.

PLAN REFERENCES

- BOUNDARY, TOPOGRAPHIC, AND PLANNING INFORMATION WAS OBTAINED FROM AN ON-THE-GROUND SURVEY PERFORMED AND COMPLETED BY PFS LAND SURVEYING.

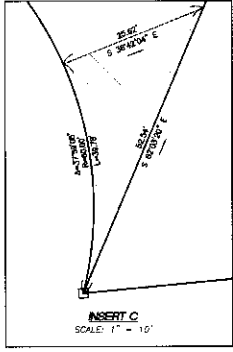
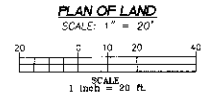
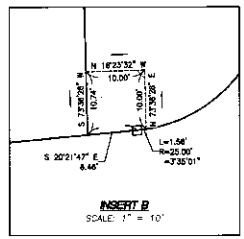
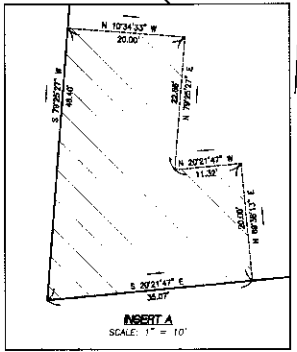
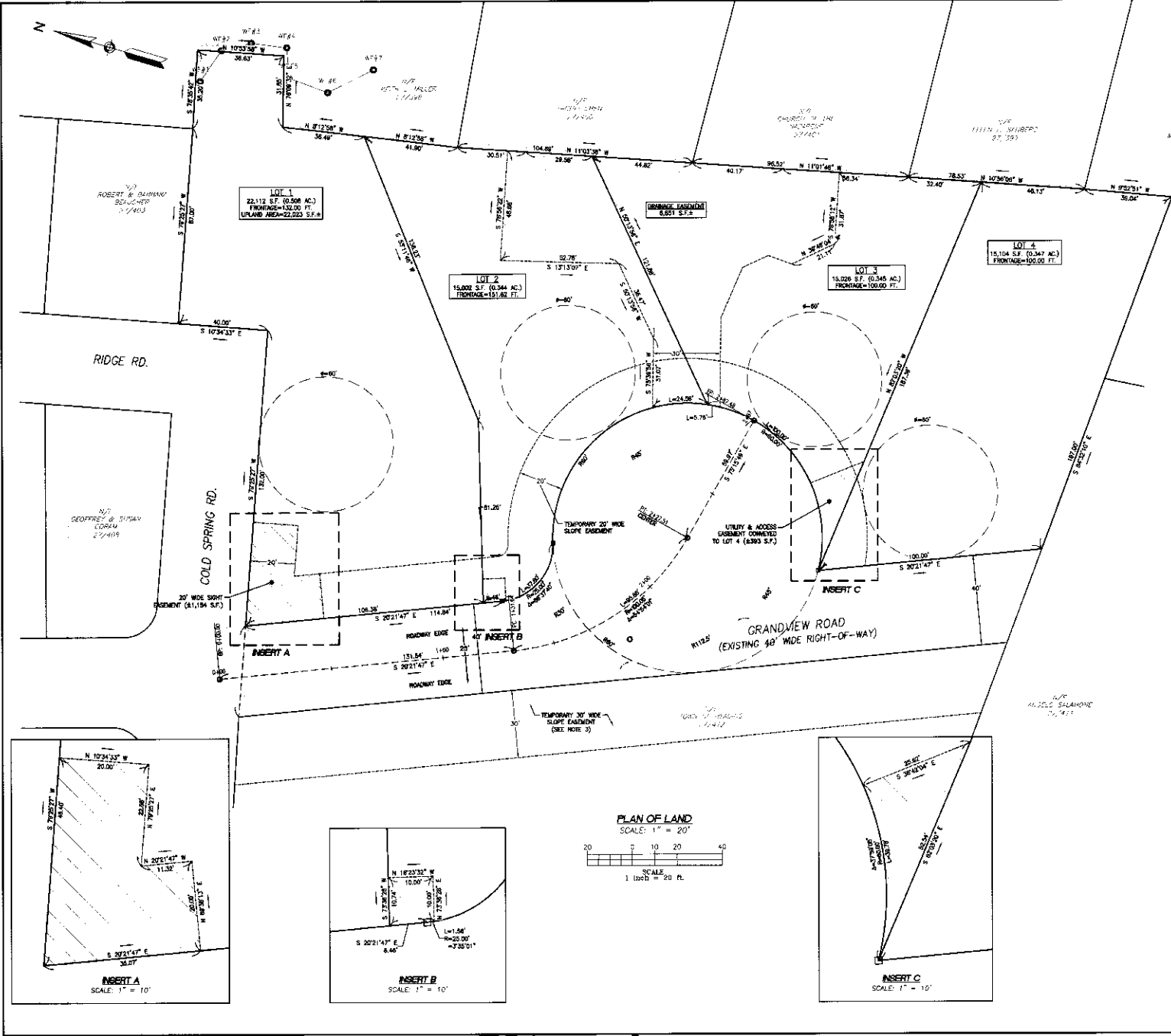
PROPERTY INFORMATION
 ADDRESS: 4 COLD SPRING ROAD
 READING, MA 01867
 MAP 27, LOT 004
 1/4 MAP LOT: 75,400 S.F. (1.73 AC.)
 LOT SIZE:

RECORD OWNERS
 4 COLD SPRING ROAD
 PENNY A. JEAN
 4 COLD SPRING RD.
 READING, MA 01867

APPLICANT
 MICHAEL SALAMONE
 45 SEACON ST.
 READING, MA 01867

ZONING SUMMARY
 ZONING DISTRICT: SINGLE FAMILY 1D (S10)

	REQUIRED	LOT 1	LOT 2	LOT 3	LOT 4
MIN. LOT WIDTH	60'	>60'	>60'	>60'	>60'
MIN. LOT AREA (SF)	15,000	22,112	15,000	15,000	15,104
MIN. FRONTAGE	100'	132.00	151.62	100.00	100.00
RELIEF REQUIRED	-	N	N	N	N



754 of 2022

TOWN OF READING
 COMMUNITY PLANNING & DEVELOPMENT COMMISSION

DATE: *[Signature]*

FOR REGISTRY USE ONLY
 Approver: Registry of Deeds,
 Southern District
 Commonwealth of Massachusetts
 Plan No. 754 of 2022
 Rec'd 11-9-23 20 23
 ST. H. Y. M. P. M.

Attest: *[Signature]*
 Registrar

ENGINEER:
FODERA ENGINEERING

SURVEYOR:
PFS Land Surveying, Inc.

187.877-2293
 pfsland@pfslandsurveying.com
 24 Fuller St., Suite 204
 Danvers, MA 01923

PROFESSIONAL SEAL: ENGINEER
 GEORGE GREGG
 No. 44884

PROFESSIONAL SEAL: SURVEYOR
 MICHAEL SALAMONE
 No. 44884

JOB NO.: 20160-145
SHEET TITLE: PLAN OF LAND
SHEET NUMBER: C-1

Memorandum

May 10, 2023

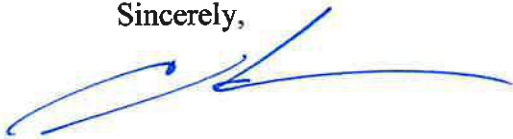
To: Andrew MacNichol, Community Development Director
Town of Reading
Community Planning and Development Commission
16 Lowell Street
Reading, MA 01867

RE: Grandview Road Subdivision

The Conservation Commission reviewed the March 10th 2023 memo by Fodera Engineering regarding site design changes. Although, the Conservation Commission supports stormwater infiltration systems. This change would require the applicant to return to the conservation commission for review and approval.

- The stormwater subsurface infiltration system has been replaced with a detention/infiltration basin

Sincerely,



Chuck Tirone
Conservation Administrator

FODERA
ENGINEERING
28 Harbor Street, Suite 204
Danvers, MA 01923
Tel: (617) 992-8492
contact@foderaengineering.com

June 7, 2023

To: Mary Benedetto, Senior Planner
Town of Reading
Community Planning and Development Commission
16 Lowell Street
Reading, MA 01867

**RE: GRANDVIEW ROAD SUBDIVISION
EXTENSION REQUEST
4 COLD SPRING ROAD
READING, MA 01867**

To Ms. Benedetto,

The project at 4 Cold Spring Road known as Grandview Road Subdivision is a four-lot residential subdivision. The existing lot identified as parcel ID: 27-404 has an existing dwelling structure on site. The project is to divide the land to create three (3) new single-family lots, and the existing dwelling will remain. The project was approved in 2021 and the approved plans were endorsed by the Community Planning and Development Commission (CPDC) on 7/12/2021.

Per Section 9.4.1 of the local Subdivision Regulations, the time limit for completion is two years from endorsement or date in surety, whichever is sooner. In this case, the endorsement date would control and therefore the time limit would end on 7/12/2023.

We are requesting a one-year extension for the Time Limit for Completion. Work did not commence for the project due to fine tuning agreements between the landowner and applicant. The landowner decided to retain the newly created parcel (Lot 2) behind her existing dwelling lot. The new agreement between the applicant and landowner had to be created and took time to finalize between both parties. Additionally, delays from COVID-19 further slowed the process. We ask that this letter be a formal request for extension.

Sincerely yours,



Giovanni Fodera, P.E.
Principal Engineer
FODERA Engineering