



Town of Reading
16 Lowell Street
Reading, MA 01867

Andrew MacNichol
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November 7, 2022

Minor Site Plan Review DECISION

Project/Site: 48-54 Village Street

To the Town Clerk:

This is to certify that, at a meeting of the Community Planning and Development Commission on November 7, 2022, by a motion duly made and seconded, it was voted:

“We, the Reading Community Planning and Development Commission, upon request from Kevin Emery, for Minor Site Plan Review for the property located at 48-54 Village Street (Assessors Map 17, Lot 192), for an increase of over 500 square feet of Gross Floor Area in new floor area, as presented in the application materials enumerated below, do hereby vote **XXX, to** _____ the project under Minor Site Plan Review in accordance with Section 4.6.3 of the Reading Zoning Bylaw, subject to the Findings and Conditions below.”

Materials Submitted:

The following materials were submitted into the public record:

1. Certified Abutters List, dated 8/29/22;
2. Minor Site Plan Review Courtesy Notice of Public Meeting to Abutters;
3. Minor Site Plan Review Application, received 10/24/22;
4. Plot Plan of Land, depicting proposed 4-unit dwelling, prepared by D&A Survey Associates, Inc., for land of 48-54 Village Street, Reading, MA, dated 9/5/22;
 - a. Plot Plan of Land depicting proposed 4-unit dwelling and existing dwelling overlay, dated 9/5/22;
5. Architectural Plan Sheets and Elevations consisting of Sheets A1 through A8, prepared by Robert M. Connell, dated 2022;
6. Draft Decision, dated 11/7/22;

Findings:

- 1) **Applicability:** The proposed work requires Minor Site Plan Review approval under Zoning Bylaw Section 4.6.2.3(a), “**An increase in gross floor area of 500 square feet or more either by the creation of new floor area or by the expansion of an existing use into adjacent space within an existing structure**”
- 2) **Site/Zoning:** The site is located in the S-15 Residential Zoning District. The lot totals 7,899 square-feet of area and maintains 75.60 linear feet of frontage along the public way of Village Street.

- 3) **Existing Conditions:** The site maintains a legal non-conforming four-unit multi-family dwelling constructed approximately 1890. The dwelling also maintains a pre-existing non-conforming front-yard setback of 13.2-feet where 20-feet is required. It includes eight (8) off-street parking spaces and enclosed porches for residential use.
- 4) **Overview:** The Applicant is proposing to raze the existing four-unit dwelling and develop a newly constructed four-unit property. The new development adds over 500 square-feet of Gross Floor Area for the multi-family use than previously maintained.
 - a. **Proposed Use:** To maintain the pre-existing use of a legal non-conforming four-unit multi-family property. Each unit will maintain three (3) bedrooms, living, dining, kitchen, bathroom and storage areas across two-floors. Each unit will also include private decks that are 6-feet deep. The units will be for-sale and to be maintained by a future Condo Association.
 - b. **Dimensional Controls:**
 - i. **Height:** The proposed building will maintain an average height of 32-feet, where 35-feet is required. It will measure 30-feet from the front along Village Street (3-story appearance) and 36-feet, 8-inches from the rear (4-story appearance) due to the natural grade change of the site. The building will maintain a flat roof with parapet design.
 - ii. **Setbacks:** The proposed dwelling will confirm to all setback requirements of the S-15 Zoning District it is located in.
 - iii. **Lot Coverage:** The proposed dwelling will occupy 24.93% of lot area (1,969 square-feet/7,899 square-feet), where up to 25% is allowed. Impervious parking area is not considered in the calculation.
 - c. **Parking:** The proposed development will maintain the pre-existing parking count of eight (8) standard parking spaces, where six (6) parking spaces are required. Each unit will be deeded two (2) parking spaces, that will be tandem in style. There is a 'No Parking This Side' regulation along the property frontage on Village Street.
- 5) **Zoning Board Approval:** At the meeting of October 18, 2022 the Zoning Board of Appeals (ZBA) voted to issue a Special Permit to allow the proposed re-construction of a pre-existing, non-conforming use of a four-unit multi-family development in the S-15 Zoning District.
- 6) **Landscape:** Any trees proposed for removal? New plantings along front or side? Fencing?

Commented [MA1]: Can Applicant confirm?

Commented [MA2]: I believe Section 6.5 will apply under, "...and into new multi-family dwelling projects."

Commented [MA3R2]: However, these are pre-existing parking areas being maintained. The ZBA did approved the continued non-conforming use but this requirement was not specified during the hearing/decision.

Other CPDC Comments (i.e. trash, lighting, etc.)

Conditions:

General:

1. **Limitations / Future Uses:** The Decision herein does not include approval for any future uses or site renovations that may – on their own merits and design – trigger the requirements of future site plan review, and/or require a special permit.
2. **Public Health, Safety and Welfare:** If, at any time, the site becomes a nuisance to public health, safety or welfare (i.e., traffic spillover, excessive noise, unreasonable site illumination beyond the hours of operation, etc.) – as shall be evidenced by substantiated complaints to the Police Department or Public Services Office – the Applicant/Owner shall agree to work with

staff to rectify the problem. Should the situation warrant it, an additional Site Plan Review by the CPDC may be required.

3. **Signage:** No site identification signage is approved with this application. The Applicant shall submit a Sign Permit Application, for review and approval by the Community Development Director, prior to installing any non-directional or ADA signage.
4. **Permitting:** The approval herein is for Minor Site Plan Review only. The Applicant shall seek building, electrical, plumbing, and gas permits as needed for the work.
5. **Lighting:** Light fixtures shall be installed/adjusted to minimize impacts on traffic.

Prior to the Issuance of Building Permit:

1. **Construction Documents & Fire Safety:** As required, full construction documents shall be submitted and approved by the Fire Department at 80% design. A fire flow test shall also be performed prior to the issuance of a building permit. A building permit shall not be issued until the Fire Department has approved the plans and test findings.
2. **Other Permits:** The Owner/Applicant is responsible for obtaining all other requirements and permits including but not limited to, utility connections, sewer, water, curb cut, street opening and Jackie's Law excavation permits from the Engineering Department (prior to excavation), and Board of Health approvals.

During Construction:

6. **Construction Hours:** Construction shall be limited to the hours specified in General Bylaw Section 8.9.8.
7. **Construction Activities:** Construction activities shall be conducted in a workmanlike manner at all times. Blowing dust or debris shall be controlled by the Applicant through stabilization, wetting down, and proper storage and disposal methods, subject to the approval of the Health Agent or designee. The Applicant shall ensure that the abutting local streets are kept clear of dirt and debris, which may accumulate as a result of construction activities for the Project. Documentation shall be provided demonstrating ongoing pest management control, subject to the approval of and administration by the Health Agent.
8. **Site Inspections:** Town staff or their designee shall have reasonable access to inspect the site to determine compliance with this Decision.

Prior to the Issuance of Occupancy:

9. **Architecture:** The building façade on each elevation (north, south, east, and west) shall be substantially as indicated on the approved plans and elevations.

Conditions for Ongoing Maintenance After Occupancy:

10. **Landscaping:** Landscaping on-site shall be maintained in a healthy condition in perpetuity. In the event that landscaping is damaged during snow removal operations, the property owner shall replace such landscaping during the next growing season.

Modifications/Revisions - Plan Changes after Approval by the Approving Authority:

Contemplated future changes to the plan approved herein shall be presented to the Community Development Director and the Zoning Enforcement Officer/Building Inspector, or other relevant Town staff, for review prior to implementation of proposed changes.

1. Minor Modification: Changes that do not substantially alter the concept of the approved Plan in terms of the specific location, the proposed land use, the design of building form and approved building details and materials, site grading or egress points. These include but are not limited to small changes in site layout, topography, architectural plans, landscaping plan, traffic circulation, parking, lighting, signage, open space or other criteria set forth in Section 4.6.9.1. Requests for approval under a minor modification for future renovations/alterations to the approved site plan or for future tenant changes shall be reviewed by the Community Development Director to determine if the proposed work qualifies for review through the Minor Site Plan Review process of Section 4.6.3 of the Reading Zoning Bylaw. If the work is eligible for review under Minor Site Plan review, the Community Development Director may review and grant approval of the proposed work by administrative approval of the Minor Modification. At the determination of the Community Development Director, the Applicant may be required to present the proposed project at a public meeting of the CPDC.

2. Major Modification: Substantial additions, deletions or deviations from the approved plan, including but not limited to changes in site layout, topography, architectural plan, landscaping plans, traffic circulation, parking, lighting plan, signage, open space or other criteria set forth in Section 4.6.9.1 of the Reading Zoning Bylaw. (Note: Approval of the major modification shall be grounds for reconsideration of the Site Plan application. Denial of proposed major modifications shall not invalidate the Site Plan in conformance with the previously approved Plan).

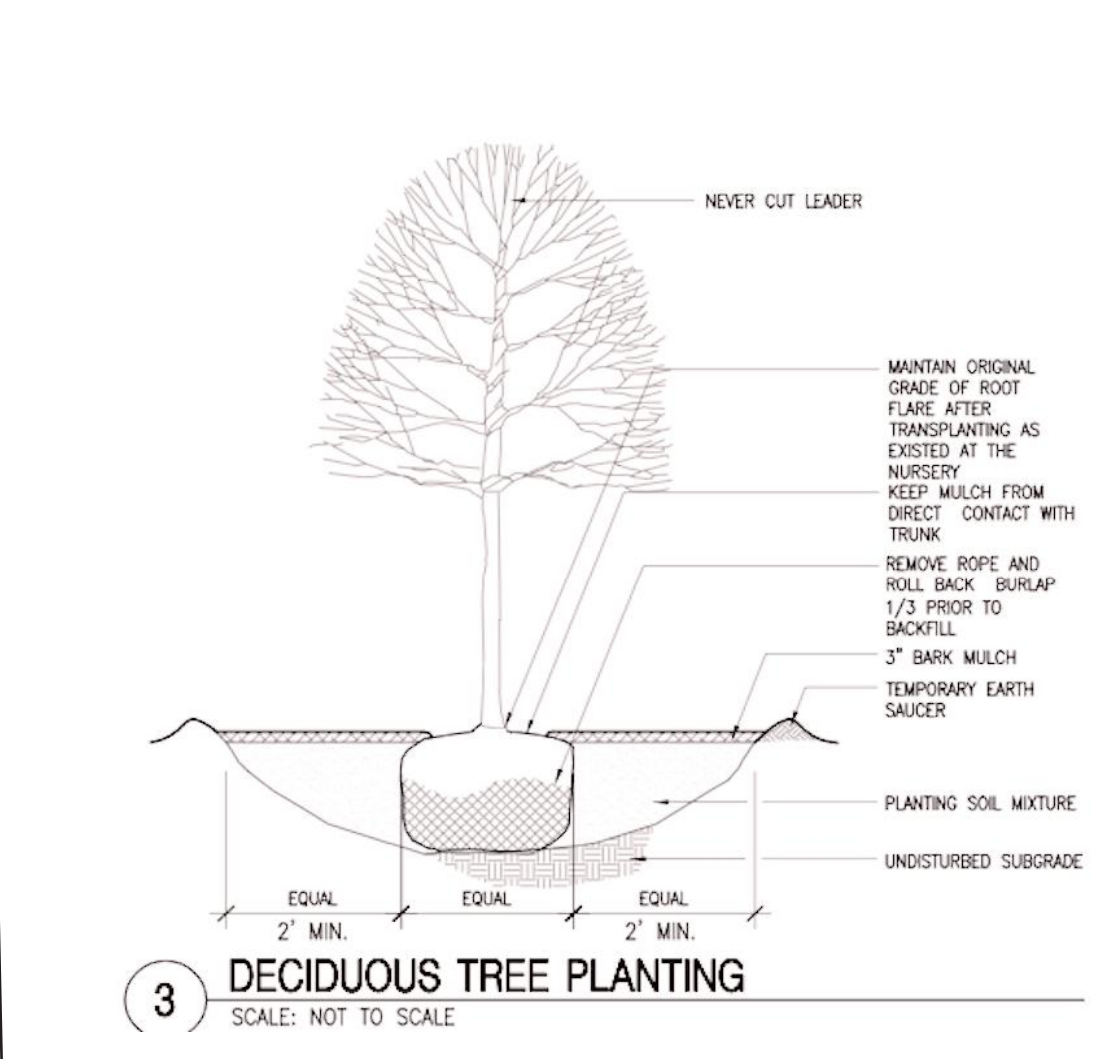
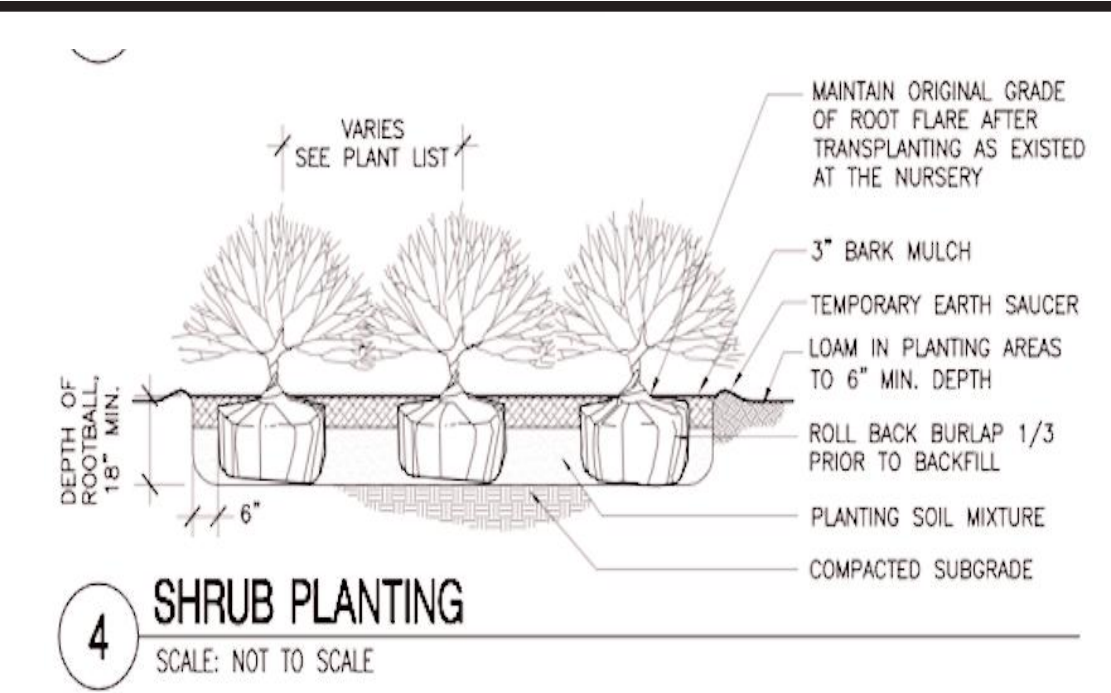
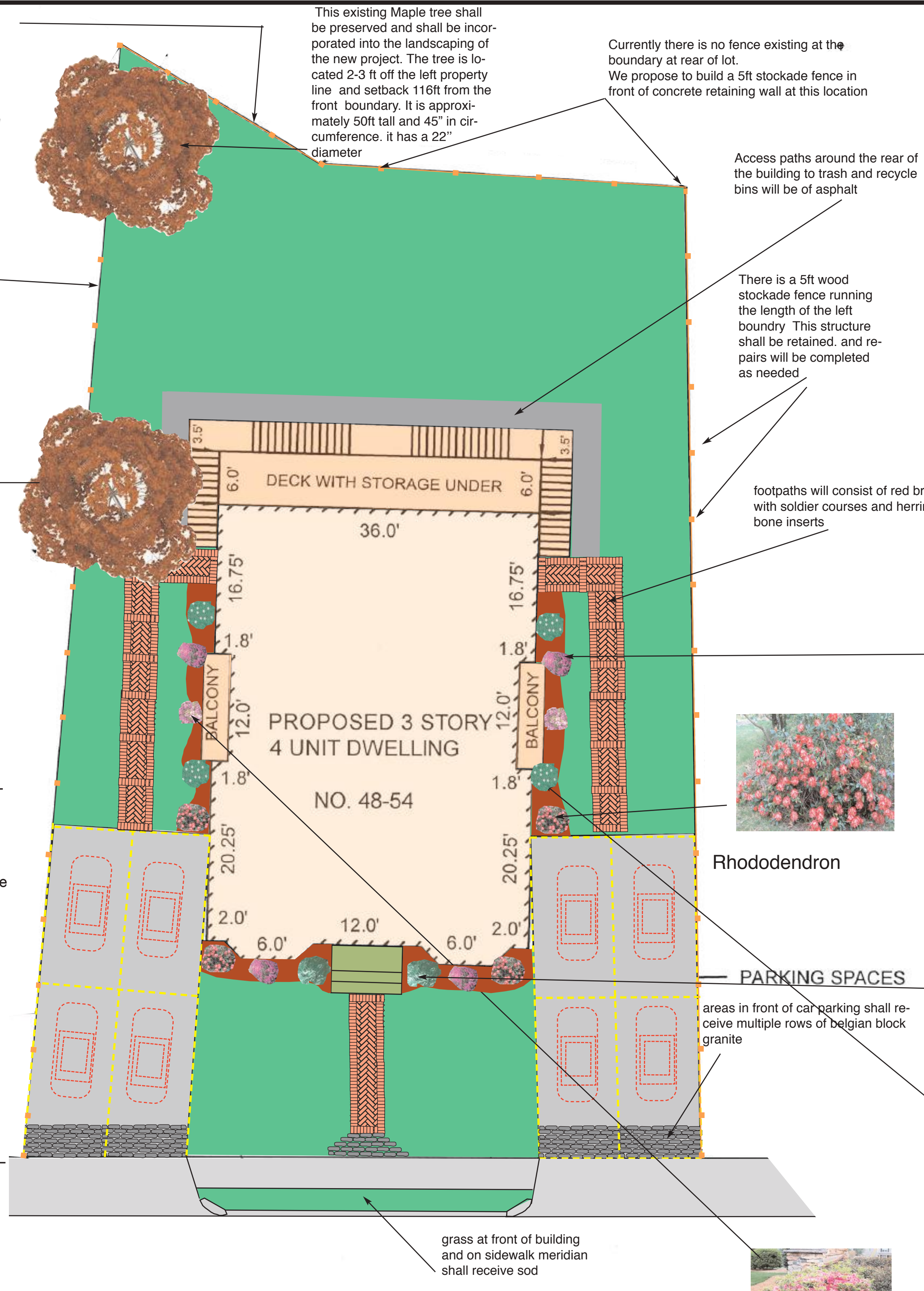
Signed as to the accuracy of the vote as reflected in the minutes:

Andrew MacNichol, Senior Planner

Date

Cc: Applicant, Town Clerk, CPDC, Development Review Team, Building Inspector, planning file

- There is a 4ft chain link fence running 26 feet from the rear lot corner that is placed on a 3ft high concrete retaining wall. This structure shall be retained, however we propose building a 6 foot stockade fence with cedar post alongside the existing chainlink to screen the
- There is a 5ft wood stockade fence running the length of the left boundary. This structure shall be retained, and repairs will be completed as needed
- This existing Maple tree shall be preserved and shall be incorporated into the landscaping of the new project. The tree is located 2-8 ft off the left property line and setback 75ft from the front boundary. It is approximately 50ft tall and 45" in circumference. it has a 28" diameter
- This existing Maple tree shall be preserved and shall be incorporated into the landscaping of the new project. The tree is located 2-3 ft off the left property line and setback 116ft from the front boundary. It is approximately 50ft tall and 45" in circumference. it has a 22" diameter
- Currently there is no fence existing at the boundary at rear of lot. We propose to build a 5ft stockade fence in front of concrete retaining wall at this location
- Access paths around the rear of the building to trash and recycle bins will be of asphalt
- There is a 5ft wood stockade fence running the length of the left boundary. This structure shall be retained, and repairs will be completed as needed
- footpaths will consist of red brick with soldier courses and herring bone inserts
- All plants shall be located as shown on the plan.
 - Final grading of topsoil shall be completed before any planting commences.
 - All new plantings shall be continuously watered. A watering schedule shall be maintained by the building contractor.
 - If planting is unavailable and requires substitution, the landscape contractor must receive an approval of the substitution from the building contractor.
 - The contractor shall verify location of all plantings on the plan and locate these areas for the landscaping contractor.
 - In the larger plantings, the root shall remain 3" above finished grade. Sufficient room shall be allowed around the root ball to receive planting mix.
 - All mulch beds around plantings shall be shaped and edged. They shall receive a minimum of 2" bark mulch.
 - All planting mix shall have a ratio of two parts topsoil and one part compost.
 - All plantings shall be planted in strict adherence to the instructions of the nurseries that supplied the planting.
 - Stakes will be located around tree trunks and shall be tied off to the stakes to give planting stability.
 - The entire lawn areas shall be hydroseed and shall be watered twice a day.
 - A 3-foot-long area in front of the driveway shall receive Belgium block granite laid in a concrete mix and joints filled with mortar mix. This will serve to protect the driveway from ice and snow debris from tires before entering the driveway.
 - The driveway shall consist of two coats of 2" asphalt layers, on top of 4" crushed stone.



Rhododendron



Azalea



Emerald Green Arborvitae



Annabelle Hydrangea



Autumn Amethyst

Key	Quantity	Scientific Name	Common Name	Size
A1	4	Hydrangea Arborescens	Annabelle Hydrangea	30"
A2	2	Thuja Occidentalis	Emerald Arborvitae	7'-8' ht
A3	2	Azalea X Amethyst	Autumn Amethyst	4' ht
A4	4	R. ferrugineum	Rhododendron	A3' ht
A5	4	Rhododendron family Ericaceae	Azalea	3' ht

Annabelle
Stunning white hydrangea, Annabelle often producing heads over 10" in diameter. Unlike the better known blue and pink hydrangeas (macrophyllous), Annabelle blooms every year even after severe pruning or intensely cold winters. This huge, white "drumstick" blooms appear in profusion without fail.

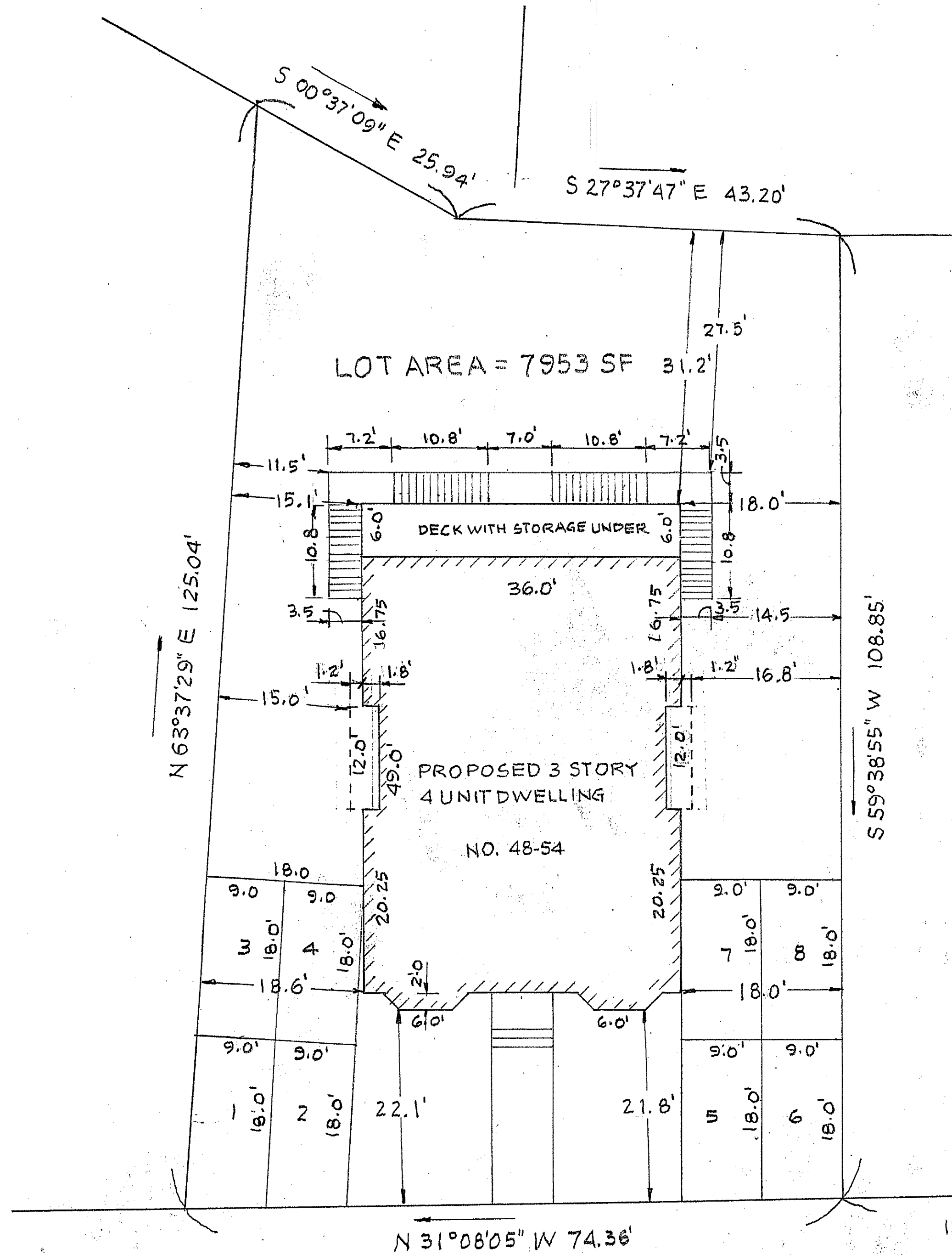
Emerald Arborvitae
Narrow, pyramidal evergreen displaying dense emerald green foliage. Holds its foliage color throughout winter. Excellent medium to large hedge or screening plant. Moderate grower to 15 ft. tall, 3-4 ft. wide. needs full sun. requires less water once established

Autum Amethyst
Plant Description: Attractive purple foliage in the winter and stunning purple blooms in spring, summer, and fall.
Bloom Description: Dark lavender, single form blooms measure 2" across. (The Autumn Amethyst is an attractive flower with purple foliage in the winter, and stunning a stunning purple that blooms in the spring, summer, and fall. The blooming is dark lavender, in which single form blooms measure up to 2" across.)

Rhododendron
Rhododendrons are some of the easiest, most rewarding flowering shrubs for the sunny to partly shaded garden. The huge clusters of bright, colorful flowers bloom heavily for weeks. Rhododendrons are great for use along foundations, and along garden or lawn borders and are available in all colors., Rhododendrons are actually hardy for all but the coldest regions of the country.

Azalea
Are flowering shrubs Azaleas bloom in spring, their flowers often lasting several weeks. They are generally slow-growing and do best in well-drained acidic soil Shade tolerant, they prefer living near or under trees.

48-54 Village Street Reading
Illustrative landscape plan
November 3rd, 2022

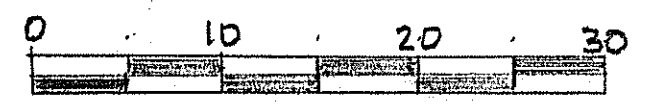


LOT COVERAGE

25% OF 7953 S.F. = 1988.25 SF ALLOWED

BUILDING 36x49	1764	S.F.
BAYS 8x2x2	32	S.F.
STORAGE 6x36	216	S.F.
RECESS 1x12x2	24	S.F.
LOT COVERAGE	1988	S.F.

PLOT PLAN
 PLAN OF LAND
 IN
 READING, MA.



SCALE 1"=10'0"

INFORMATION FROM A PLAN DRAWN
 BY M.J. CAMERON LAND SURVEYOR
 DATED 8-22-2022

VILLAGE (PUBLIC - VARIABLE WIDTH) STREET

SCALE 1"=10'0"	RESIDENTIAL DESIGNS BY	C1
DATE	ROBERT M. CONNELL	
	22 NORTH ST. WILMINGTON, MA.	
	4 UNIT HOME FOR	C1
	EMERY HOMES L.L.C.	
	48-54 VILLAGE STREET READING, MA.	



FRONT ELEVATION

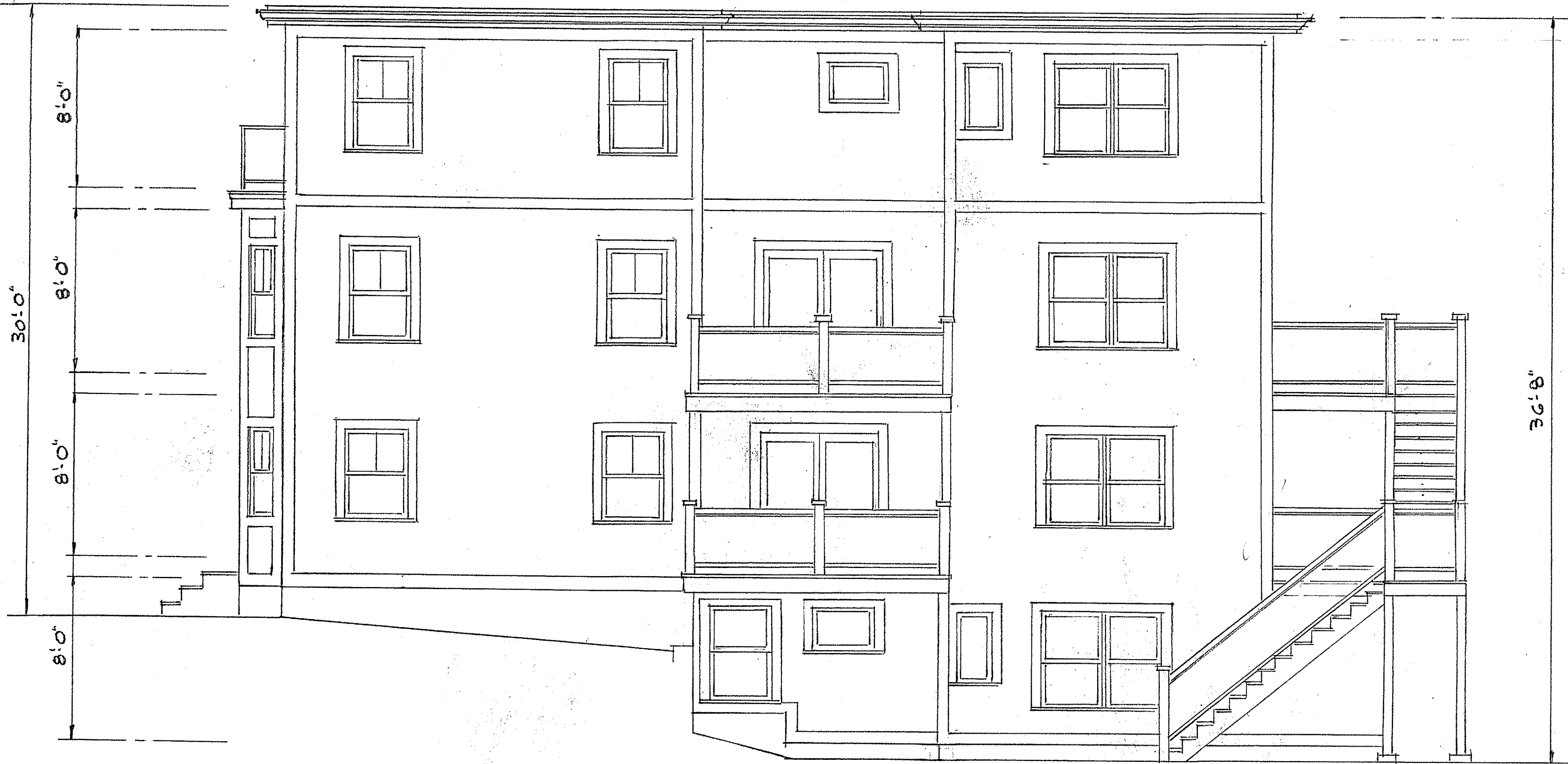
SCALE 1/4"=1'-0"

A FAMILY HOME FOR
EMERY HOMES LLC
48-54 VILLAGE STREET READING, MA.

RESIDENTIAL DESIGNS BY
ROBERT M. CONNELL
22 NORTH ST. WILMINGTON, MA.

SCALE 1/4"=1'-0"
DATE
A1

A1



RIGHT SIDE ELEVATION

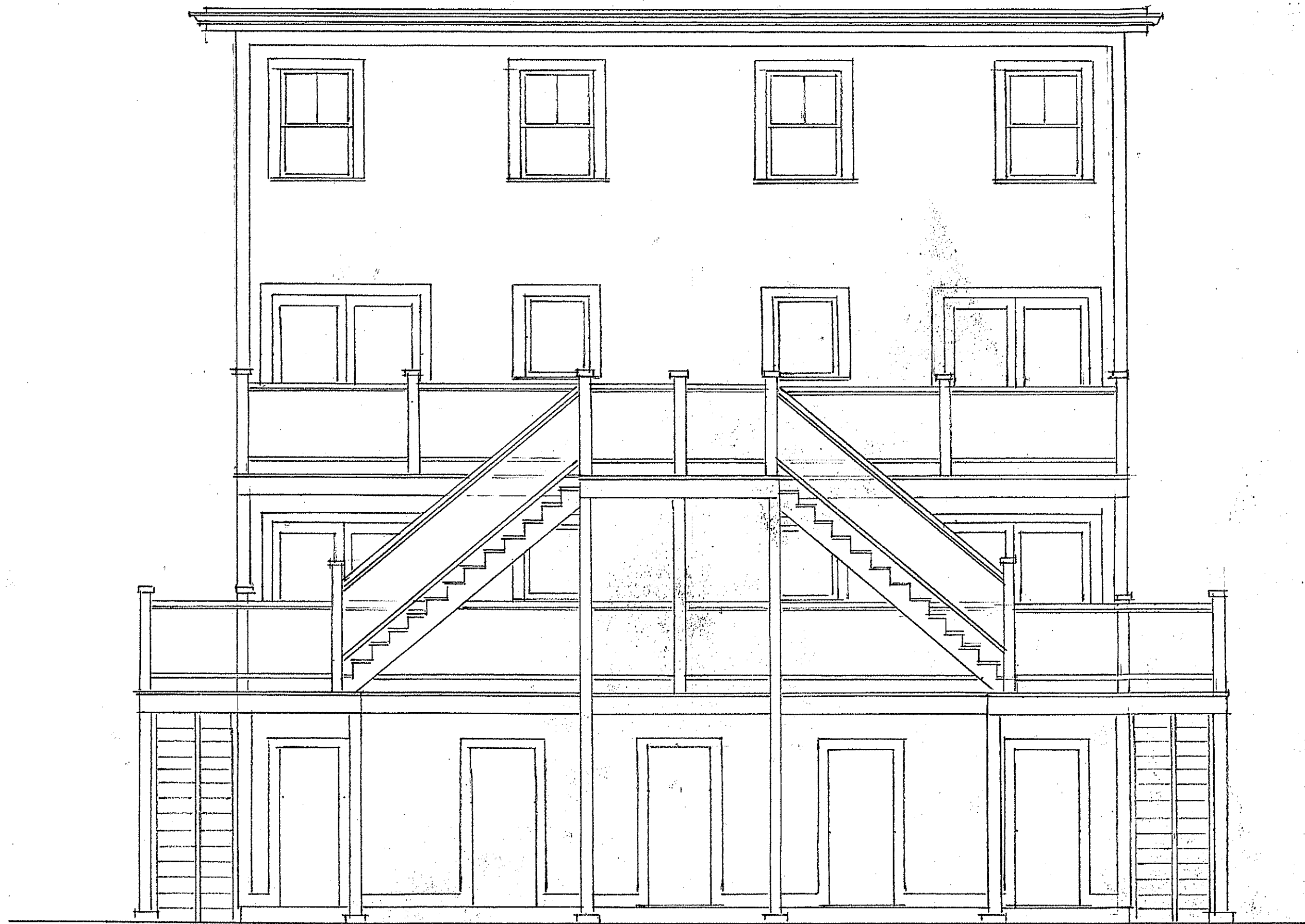
SCALE 1/4"=1'-0"

SCALE 1/4"=1'-0"
DATE 2022
A2

RESIDENTIAL DESIGNS BY
ROBERT M. CONNELL
22 NORTH ST. WILMINGTON, MA

4 FAMILY HOME FOR
EMERY HOMES LLC
40-54 VILLAGE STREET READING, MA.

A2



REAR ELEVATION

4 FAMILY HOME FOR
EMERY HOMES LLC
48-54 VILLAGE STREET
READING, MA.

READING, MA.

RESIDENTIAL DESIGNS BY
ROBERT M. CONNELL
22 NORTH ST. WILMINGTON, MA.

SCALE 1/4"=1'-0"

DATE

A3

A3



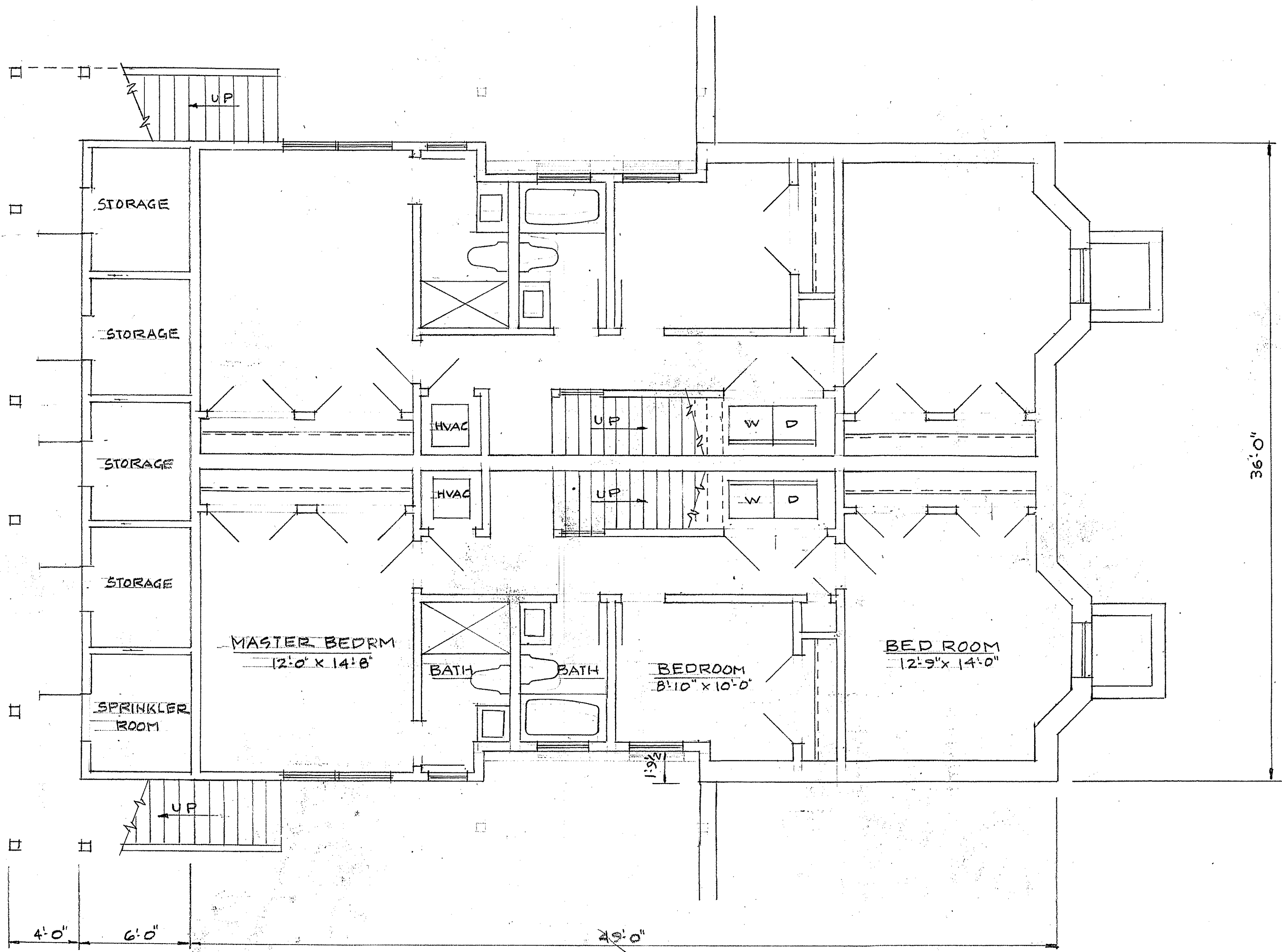
LEFT SIDE ELEVATION

SCALE 1/4" = 1'-0"


A FAMILY HOME FOR
 EMERY HOMES L.L.C
 48-54 VILLAGE STREET READING, MA.

RESIDENTIAL DESIGNS BY
 ROBERT M. CONNELL
 22 NORTH ST. WILMINGTON, MA.

SCALE 1/4" = 1'-0"
 DATE 2022
 A 4

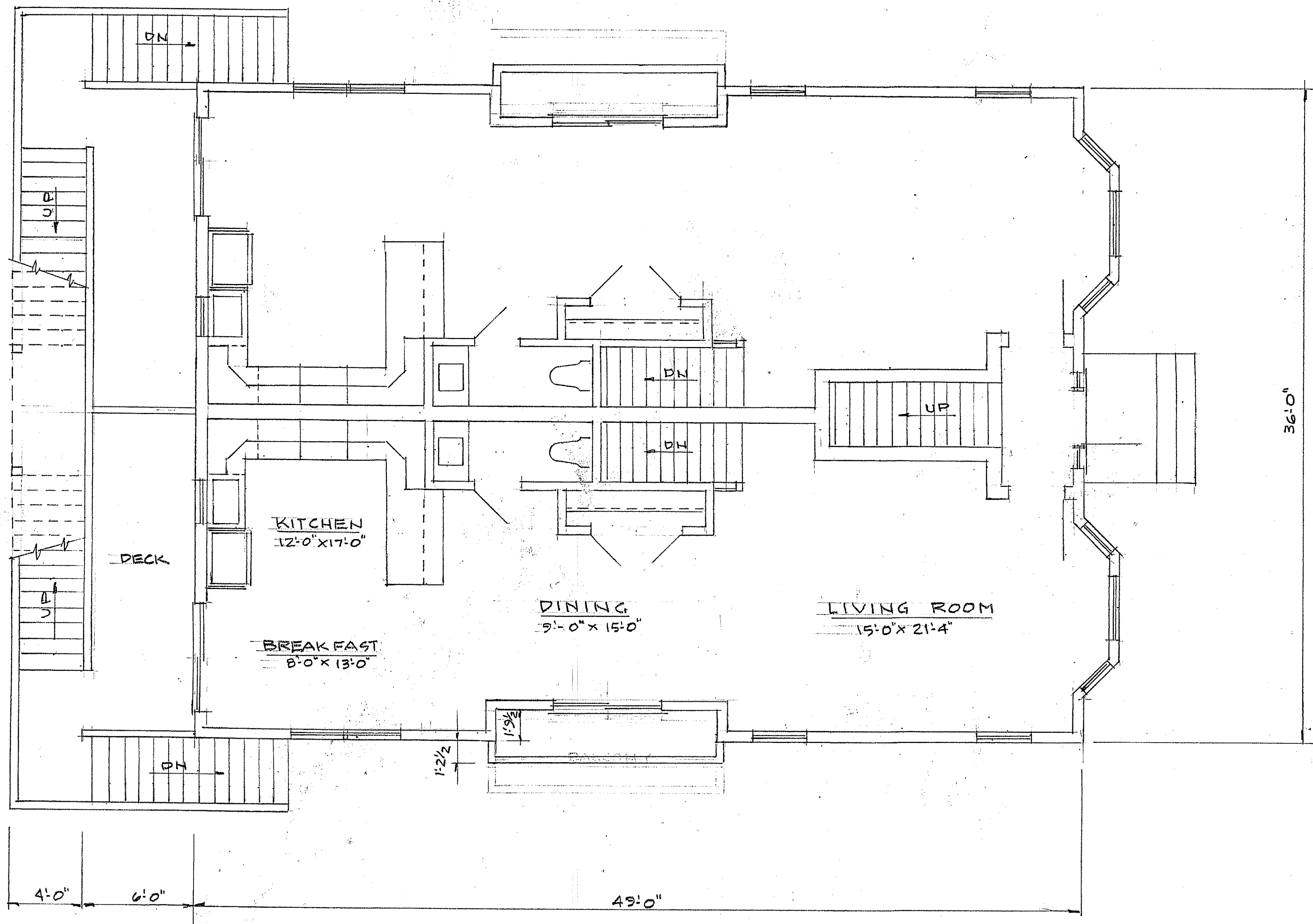


LOWER LEVEL PLAN
SCALE 1/4" = 1'-0"


 A FAMILY HOME FOR
 EMERY HOMES LLC
 48-54 VILLAGE STREET READING, MA

RESIDENTIAL DESIGNS BY
 ROBERT M. CONNELL
 22 NORTH ST. WILMINGTON, MA

SCALE 1/4" = 1'-0"
 DATE _____
 A



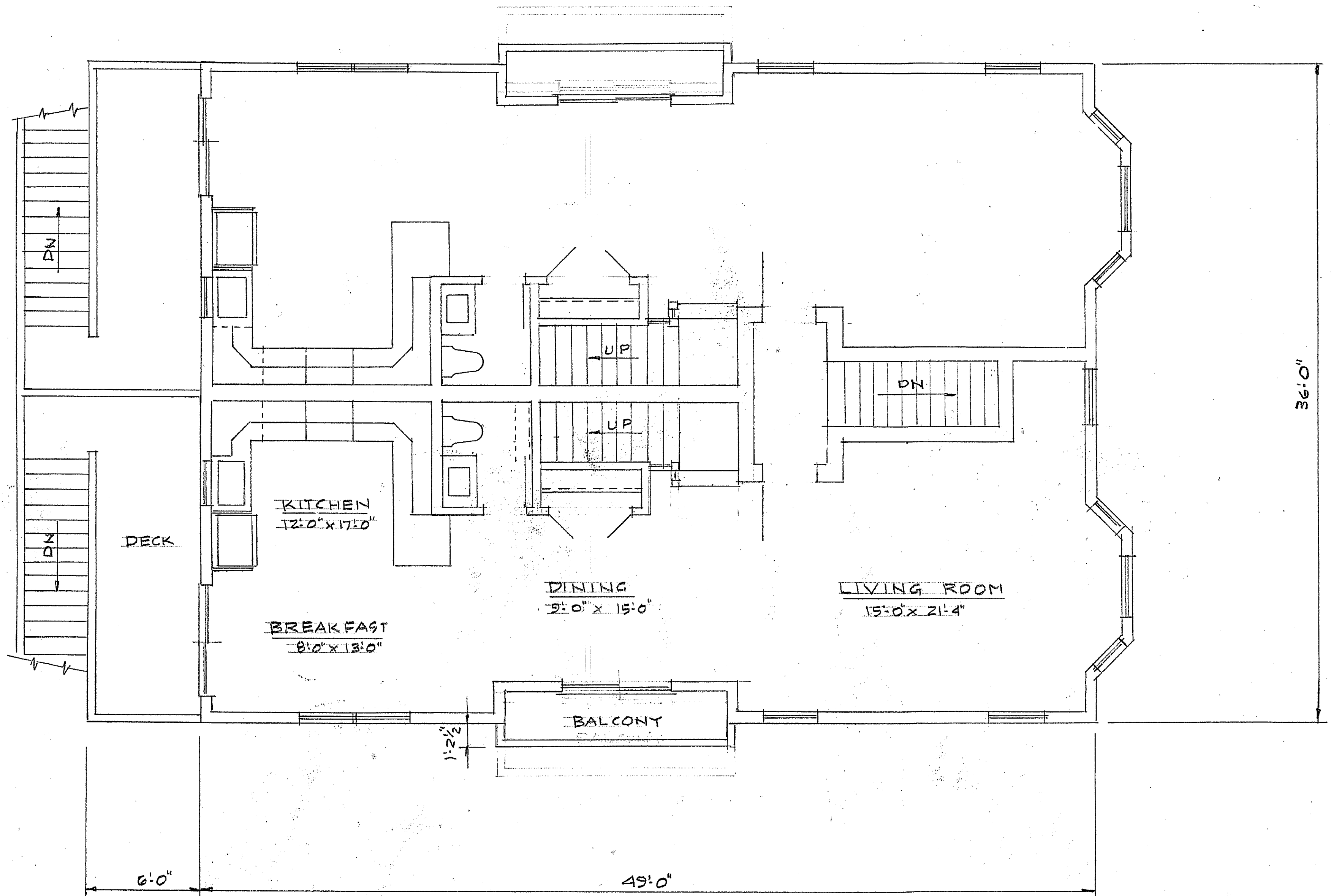
FIRST FLOOR PLAN

SCALE 1/4"=1'-0"

A 4 FAMILY HOME FOR
EMERY HOMES LLC
48-54 VILLAGE STREET READING, MA.

RESIDENTIAL DESIGNS BY
ROBERT M. CONNELL
22 NORTH ST. WILMINGTON, MA

SCALE 1/4"=1'-0"
DATE 2022
A



SECOND FLOOR PLAN

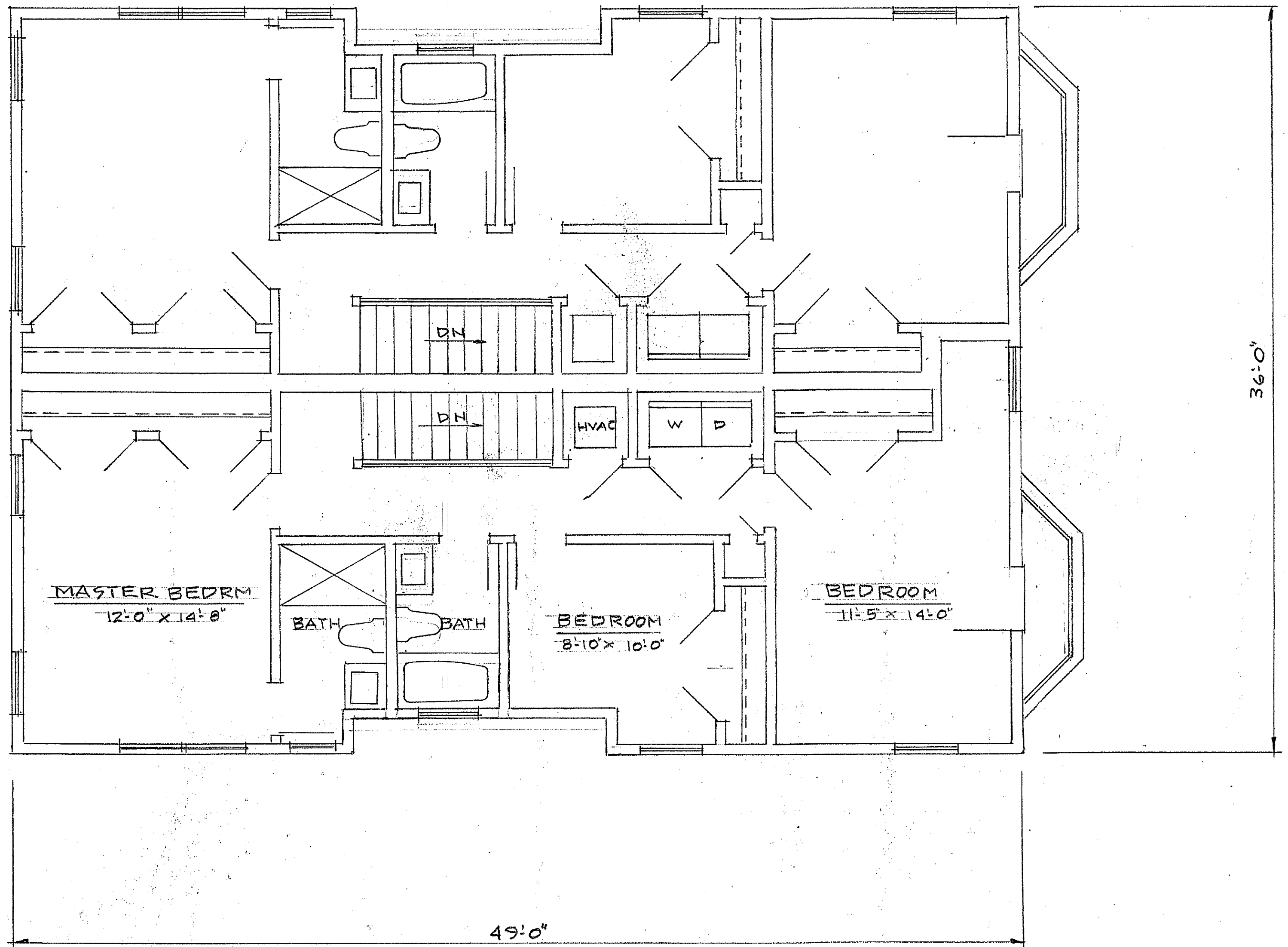
SCALE 1/4" = 1'-0"

SCALE 1/4" = 1'-0"
DATE

RESIDENTIAL DESIGNS BY
ROBERT M. CONNELL
22 NORTH ST, WILMINGTON MA

A FAMILY HOME FOR
EMERY HOMES LLC
48-54 VILLAGE ST, READING MA

A



THIRD FLOOR PLAN

SCALE 1/4" = 1'-0"

A
 4 FAMILY HOME FOR
 EMERY HOMES LLC,
 48-54 VILLAGE ST,
 READING, MA

RESIDENTIAL DESIGNS BY
 ROBERT M. CONNELL
 22 NORTH ST. WILMINGTON, MA.

SCALE 1/4" = 1'-0"
 DATE
 A



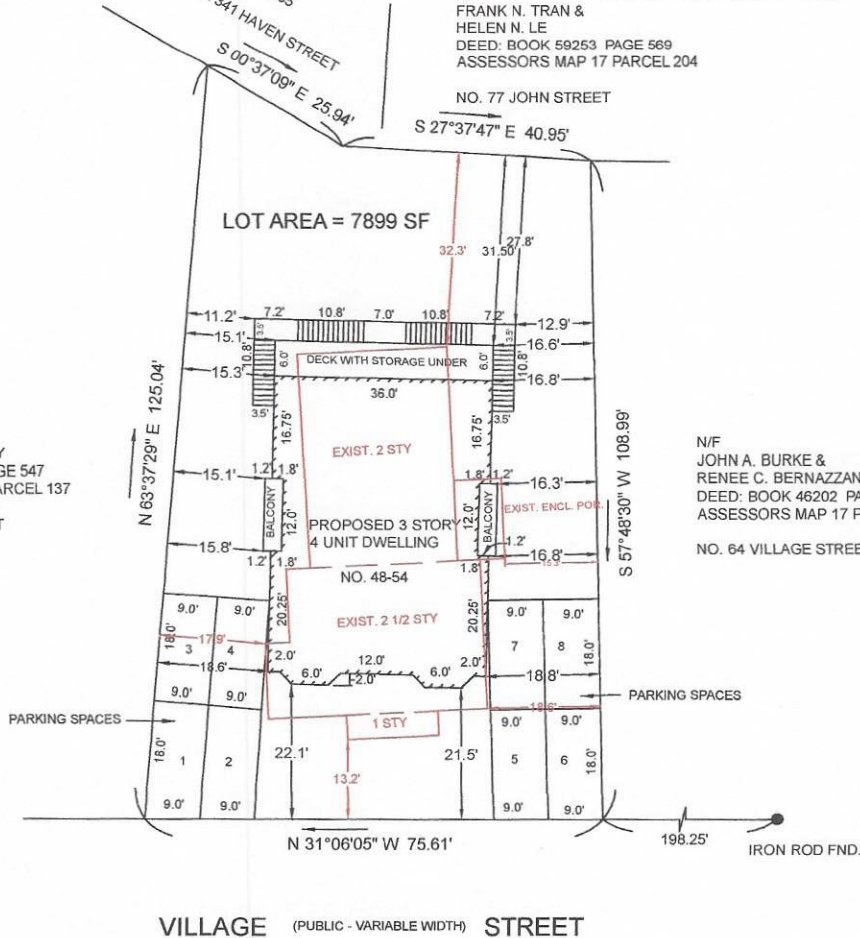
ZONING SUMMARY		
S-15 ZONING DISTRICT		
ITEM	REQUIRED	PROPOSED
MIN LOT WIDTH	60'	71.8' (existing & proposed)
MINIMUM AREA (SF)	15,000 SF	7,899 SF (existing & proposed)
MINIMUM FRONTAGE (FEET)	100'	75.61' (existing & proposed)
SETBACKS (MIN)	-	-
FRONT YARD	20'	21.5'
SIDE YARD (R)	15'	16.3'
SIDE YARD (L)	15'	15.1'
REAR YARD	20'	31.5'
MAX BUILDING HEIGHT	35'	32'
MAX LOT COVERAGE %	25%	24.93%
PARKING SPACES	4	8

N/F
DOUGLAS A. BRUCE &
SHEILA M. BRUCE
DEED: BOOK 64781 PAGE 149
ASSESSORS MAP 17 PARCEL 205
NO. 67 JOHN STREET & 341 HAVEN STREET

N/F
FRANK N. TRAN &
HELEN N. LE
DEED: BOOK 59253 PAGE 569
ASSESSORS MAP 17 PARCEL 204
NO. 77 JOHN STREET

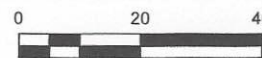
N/F
KEVIN AND AMY PELLEY
DEED: BOOK 45874 PAGE 547
ASSESSORS MAP 17 PARCEL 137
NO. 40 VILLAGE STREET

N/F
JOHN A. BURKE &
RENEE C. BERNAZZANI BURKE
DEED: BOOK 46202 PAGE 145
ASSESSORS MAP 17 PARCEL 93
NO. 64 VILLAGE STREET



- NOTES:
- 1.) THIS PLAN WAS PREPARED FROM AN INSTRUMENT SURVEY
 - 2.) RECORD OWNERS: 48 VILLAGE STREET, LLC
 - 3.) DEED REFERENCE: BOOK 80153 PAGE 279
 - 3.) ASSESSORS PLAN 17 PARCEL 192
 - 4.) ZONING DISTRICT: S - 15
 - 5.) BUILDING COVERAGE: 1969 SF / 7899 SF = 24.93%

PLOT PLAN
SHOWING PROPOSED
4 UNIT DWELLING
IN
READING, MA
48-54 VILLAGE STREET



SCALE: 1" = 20'-0"

SEPTEMBER 5, 2022

D & A SURVEY ASSOCIATES, INC.
P.O. BOX 621 MEDFORD, MA 02155
(781) 324 - 9566



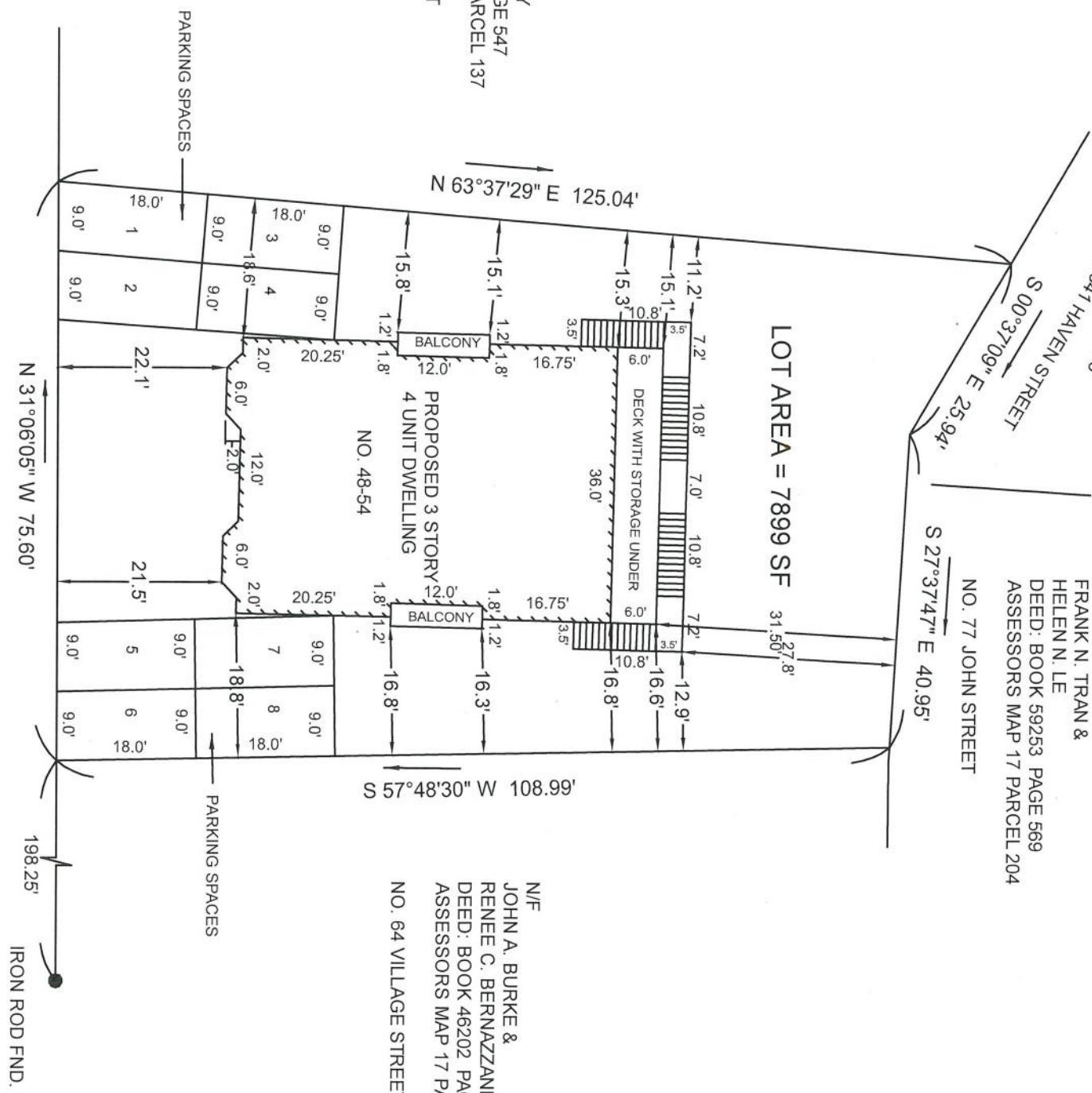
LAND COURT PLAN NO. 41778A

N/F
DOUGLAS A BRUCE &
SHEILA M BRUCE
DEED: BOOK 64761 PAGE 149
ASSESSORS MAP 17 PARCEL 205
NO. 67 JOHN STREET & 341 HAVEN STREET

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FRANK N. TRAN &
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DEED: BOOK 59253 PAGE 569
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DEED: BOOK 45874 PAGE 547
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PLOT PLAN
SHOWING PROPOSED
4 UNIT DWELLING
IN

READING, MA
48-54 VILLAGE STREET



SCALE: 1" = 20'-0"

SEPTEMBER 5, 2022

D & A SURVEY ASSOCIATES, INC.
P.O. BOX 621 MEDFORD, MA 02155
(781) 324 - 9566

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 - 3.) DEED REFERENCE: BOOK 80153 PAGE 279
 - 4.) ZONING DISTRICT: S - 15
 - 5.) BUILDING COVERAGE: 1969 SF/ 7899 SF = 24.93%





Town of Reading
16 Lowell Street
Reading, MA 01867

Andrew MacNichol
Senior Planner
Phone: 781.942-6670
Fax: 781.942-9071
Website: www.readingma.gov

November 7, 2022

Minor Site Plan Review DECISION

Project/Site: 581-591 Main Street

To the Town Clerk:

This is to certify that, at a meeting of the Community Planning and Development Commission opened on October 17, 2022, and closed on November 7, 2022, by a motion duly made and seconded, it was voted:

“We, the Reading Community Planning and Development Commission, upon request from Chris Greogoris, for Minor Site Plan Review for the property located at 581-591 Main Street (Assessors Map 17, Lot 184) for exterior renovations to the building, as presented in the application materials enumerated below, do hereby vote XXX, to _____ the project under Minor Site Plan Review in accordance with Section 4.6.3 of the Reading Zoning Bylaw, subject to the Findings and Conditions below.”

Materials Submitted:

The following materials were submitted into the public record:

1. Certified Abutters List, dated 9/15/22;
2. Minor Site Plan Review Courtesy Notice of Public Meeting to Abutters, delivered;
3. Project Description, dated 4/7/22;
4. Building Section(s) for Alteration, received 9/12/22;
5. Architectural Plan Set, prepared by H Arch Collaborative, prepared for 583 Main Street, Reading, MA, Masonry Work, dated 8/22/22 and consisting of:
 - a. Sheet A0.1: Existing Elevation
 - b. Sheet A0.2: Proposed Elevation
 - c. Sheet A0.3: Section Detail
6. Plot Plan of Land, prepared by RJ O'Connell & Associates, Inc., prepared for JMS Masonry and Restoration, LLC, 581-591 Main Street/231-239 Haven Street, Reading, MA, 01867, dated 6/10/22;
7. Pedestrian Access and Scaffolding Plan, received 9/12/22;
8. Email from Reading Historical Commission, dated 10/31/22;
9. Applicant Response to Reading Historical Commission, dated 11/2/22;
10. Draft Decision, dated 11/7/22;

Findings:

- 1) **Applicability:** The proposed work requires Minor Site Plan Review approval under Zoning Bylaw Section 4.6.2.3(d), “*Exterior alteration of 500 square feet or more of horizontal or vertical area that is limited to doors, paint, awnings, railings, step replacement, handicapped ramps or building code compliance measures, for a site within the Business B Zoning District*”
- 2) **Site/Zoning:** The site is multi-tenant single-story commercial building with units addressed through 581-591 Main Street and 231-239 Haven Street. It is located at the corner of Main Street and Haven Street and is within the Business-B Zoning District.
- 3) **Historic:** The structure is included on the Town of Reading’s Local Historical Inventory list.
- 4) **Overview:**
 - a. **Existing Structure:** The existing concrete roof/parapet of the building is in disrepair and in need of removal/replacement. The existing roof/parapet measures 6’ in height and wraps from the south of the building to the corner of Main Street and Haven Street. It does not continue to the east down Haven Street.
 - b. **Proposed Work:** New masonry brick work is proposed to replace the concrete parapet. The brick masonry will measure 3’9” in height and include a 6.5” parapet for total height of 4’3.5”; which matches the height of the existing Haven Street building façade and total building height of 15’. It will be capped with bluestone material.
- 5) **Scaffolding and Pedestrian Access:** As the removal and replacement of the parapet/roof ensues walkthrough framing and staging will be utilized along the building west façade fronting Main Street. The walkthrough staging will maintain ADA compliance and will be covered above to prevent debris on the sidewalk. Pedestrian access to businesses within the site, and abutting the site, shall not be impeded. Lighting shall be utilized within the framing.

Conditions:

General:

1. **Limitations / Future Uses:** The Decision herein does not include approval for any future uses or site renovations that may – on their own merits and design – trigger the requirements of future site plan review, and/or require a special permit.
2. **Public Health, Safety and Welfare:** If, at any time, the site becomes a nuisance to public health, safety or welfare (i.e., traffic spillover, excessive noise, unreasonable site illumination beyond the hours of operation, etc.) – as shall be evidenced by substantiated complaints to the Police Department or Public Services Office – the Applicant/Owner shall agree to work with staff to rectify the problem. Should the situation warrant it, an additional Site Plan Review by the CPDC may be required.
3. **Signage:** No site identification signage is approved with this application. The Applicant shall submit a Sign Permit Application, for review and approval by the Community Development Director, prior to installing any non-directional or ADA signage.
4. **Permitting:** The approval herein is for Minor Site Plan Review only. The Applicant shall seek building, electrical, plumbing, and gas permits as needed for the work.

During Construction:

1. Preservation of Historic Elements:

- a) The Applicant and/or Contractor shall preserve and maintain all of the existing urn (4) and medallion (2) elements above/within the building parapet when removal occurs.
 - b) The concrete pilasters shall be preserved in place when re-pointing.
- 2. **Construction Hours:** Construction shall be limited to the hours specified in General Bylaw Section 8.9.8.
 - 3. **Construction Activities:** Construction activities shall be conducted in a workmanlike manner at all times. Blowing dust or debris shall be controlled by the Applicant through stabilization, wetting down, and proper storage and disposal methods, subject to the approval of the Health Agent or designee. The Applicant shall ensure that the abutting local streets are kept clear of dirt and debris, which may accumulate as a result of construction activities for the Project. Documentation shall be provided demonstrating ongoing pest management control, subject to the approval of and administration by the Health Agent.
 - 4. **Site Inspections:** Town staff or their designee shall have reasonable access to inspect the site to determine compliance with this Decision.
 - 5. **Lighting:** Light fixtures shall be installed/adjusted to minimize impacts on traffic.
 - 6. **Architecture:** The building façade on each elevation (north, south, east, and west) shall be substantially as indicated on the approved plans and elevations.

Commented [MA1]: Is there any interest in a partnership to deliver to Town Hall/RHC? Is RHC interested in such?

Commented [MA2R1]: How do we tie this to any permitting closing?

Modifications/Revisions - Plan Changes after Approval by the Approving Authority:

Contemplated future changes to the plan approved herein shall be presented to the Community Development Director and the Zoning Enforcement Officer/Building Inspector, or other relevant Town staff, for review prior to implementation of proposed changes.

1. Minor Modification: Changes that do not substantially alter the concept of the approved Plan in terms of the specific location, the proposed land use, the design of building form and approved building details and materials, site grading or egress points. These include but are not limited to small changes in site layout, topography, architectural plans, landscaping plan, traffic circulation, parking, lighting, signage, open space or other criteria set forth in Section 4.6.9.1. Requests for approval under a minor modification for future renovations/alterations to the approved site plan or for future tenant changes shall be reviewed by the Community Development Director to determine if the proposed work qualifies for review through the Minor Site Plan Review process of Section 4.6.3 of the Reading Zoning Bylaw. If the work is eligible for review under Minor Site Plan review, the Community Development Director may review and grant approval of the proposed work by administrative approval of the Minor Modification. At the determination of the Community Development Director, the Applicant may be required to present the proposed project at a public meeting of the CPDC.

2. Major Modification: Substantial additions, deletions or deviations from the approved plan, including but not limited to changes in site layout, topography, architectural plan, landscaping plans, traffic circulation, parking, lighting plan, signage, open space or other criteria set forth in Section 4.6.9.1 of the Reading Zoning Bylaw. (Note: Approval of the major modification shall be grounds for reconsideration of the Site Plan application. Denial of proposed major modifications shall not invalidate the Site Plan in conformance with the previously approved Plan).

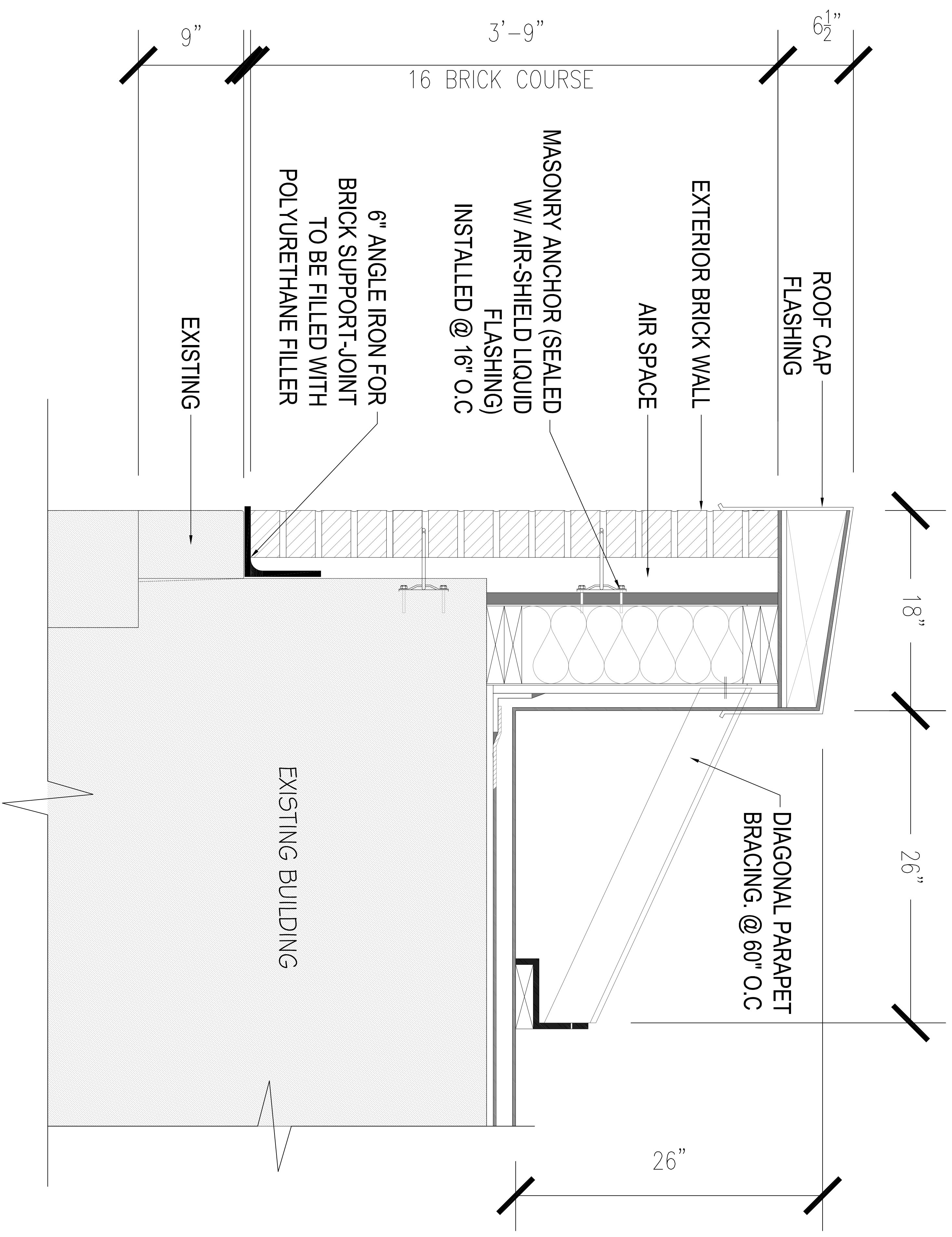
Signed as to the accuracy of the vote as reflected in the minutes:

Andrew MacNichol, Senior Planner

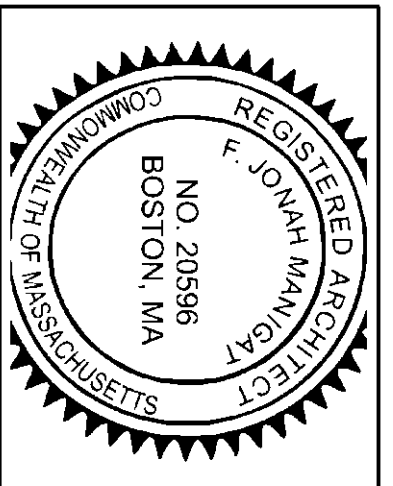
Date

Cc: Applicant, Town Clerk, CPDC, Development Review Team, Building Inspector, planning file

DRAFT



SECTION AT NEW PARAPET



F. JONAH MANIGAT
08/22/2022

hARCHI



hARCHI
COLLABORATIVE

architecture +
facilities design

36 Bromfield Street
Suite 208
Boston MA 02108

PROJECT

MASONRY WORK
583 Main St. Reading MA

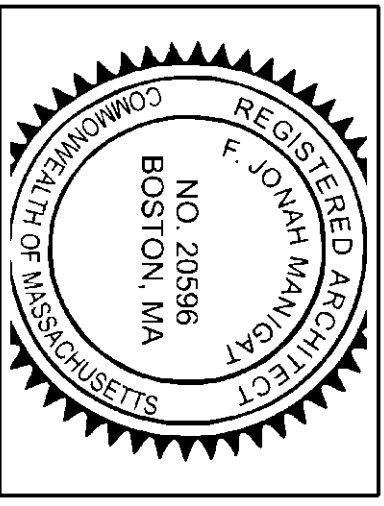
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583 Main Street
Reading, MA

SUBMISSION

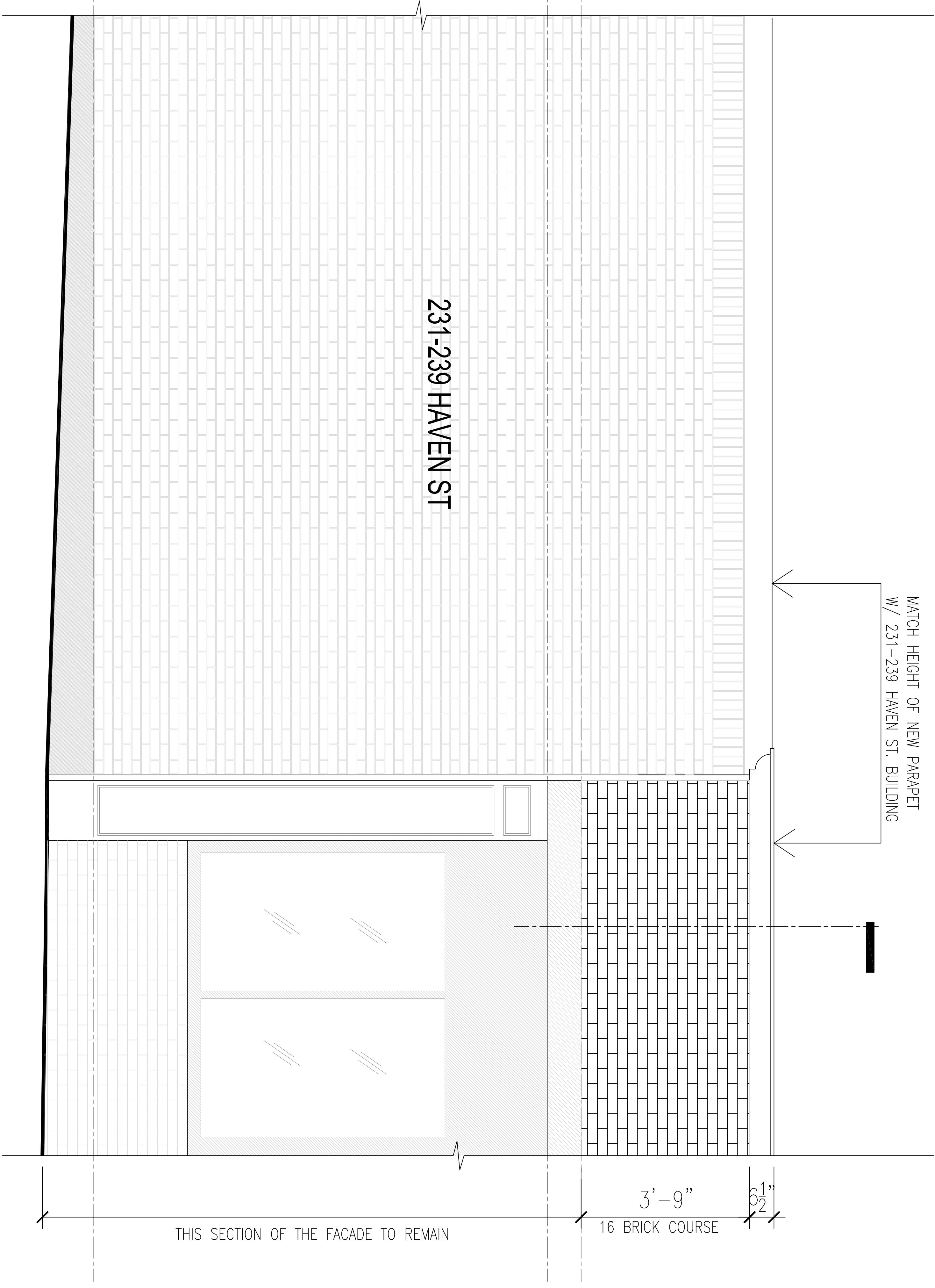
SCHEMATIC SET
08/22/22

DRAWING

A 0.3



F. JONAH MANIGAT
08/22/2022



SCOPE OF WORK:

Contractor is to inspect the inside walls for any water damage or rust on the steels. If found the damage area is to be restored to insure the foundation is sound. All steels shall be flashed using an ice/water rubber membrane with weep holes added for any trapped moisture to escape.

Contractor is to use wall ties to further strengthen the parapet walls. Ties are to be installed every 16 inches on-center to provide equal strength throughout the entire masonry wall, also, provide flashing between both bricks with the flashing on the back one course higher and the weep holes sitting on the outside course to push any moisture out.

Capping of Parapet
Contractor to cap the wall using a brick on edge. Once all the masonry capping has cured, then wrap the entire top of the parapet with a tin cap.

Existing Stone Piers
All existing stone piers at the lower level to have all masonry joints cut out using angle grinders with vacuums attached so all dust is contained, then re-point using a type N cement and fine sand mix.

Existing Brickwork at Lower Level
The existing brickwork at street level to be cut out using angle grinders with vacuums attached to contain all dust, then re-point all the brickwork using a type O cement and fine sand mix,

Sealing
After all the masonry has cured the contractor is to apply three coats of a siloxane masonry sealer to further protect the new brickwork from any water damage.



HARCHI
COLLABORATIVE

architecture +
facilities design

36 Bromfield Street
Suite 208
Boston MA 02108

PROJECT

MASONRY WORK

583 Main St. Reading MA

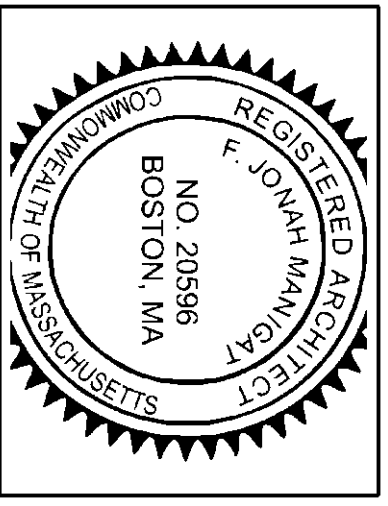
ADDRESS

583 Main Street
Reading, MA

SUBMISSION

SCHEMATIC SET
08/22/22

DRAWING



F. JONAH MANIGAT
08/22/2022

HARCHI

A 0.1

All demolition to be completed with precision to ensure the safety of our workers and also the pedestrians. Demolish to the area where the relieving angle iron is set.

6'-0"
PARAPET SECTION TO BE DEMOLISHED

THIS SECTION OF THE FACADE TO REMAIN

231-239 HAVEN ST

15'-0" EXISTING HEIGHT AT HAVEN STREET

EXISTING ELEVATION
3/4" = 1'-0"

Record Owner:
 THE TRIANTAFYLIA LIAKOS
 IRREVOCABLE TRUST
 9R MILL STREET
 BURLINGTON, MA 01803
 BK . 75190 PG. 227

Location:
 PARCEL ID: 017-018444
 581-591 MAIN ST. &
 231-239 HAVEN ST.
 READING, MA

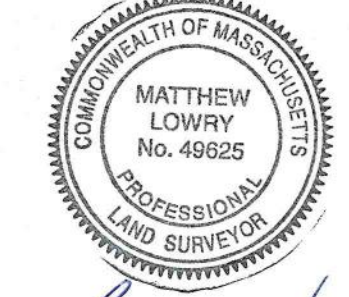
PREPARED BY:
RJO'CONNELL & ASSOCIATES, INC.
 CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
 80 MONTVALE AVENUE, SUITE 201 STONEHAM, MA 02180
 PHONE: 781.279.0180 RJCONNELL.COM

PREPARED FOR:

JMS MASONRY AND RESTORATION, LLC
 4 MANSION STREET
 STONEHAM, MA 02180

PROJECT NAME:
581-591 MAIN STREET & 231-239 HAVEN STREET
 READING, MASSACHUSETTS

THIS PLAN IS THE RESULT OF AN ON THE GROUND SURVEY PERFORMED ON 6/3/2022.

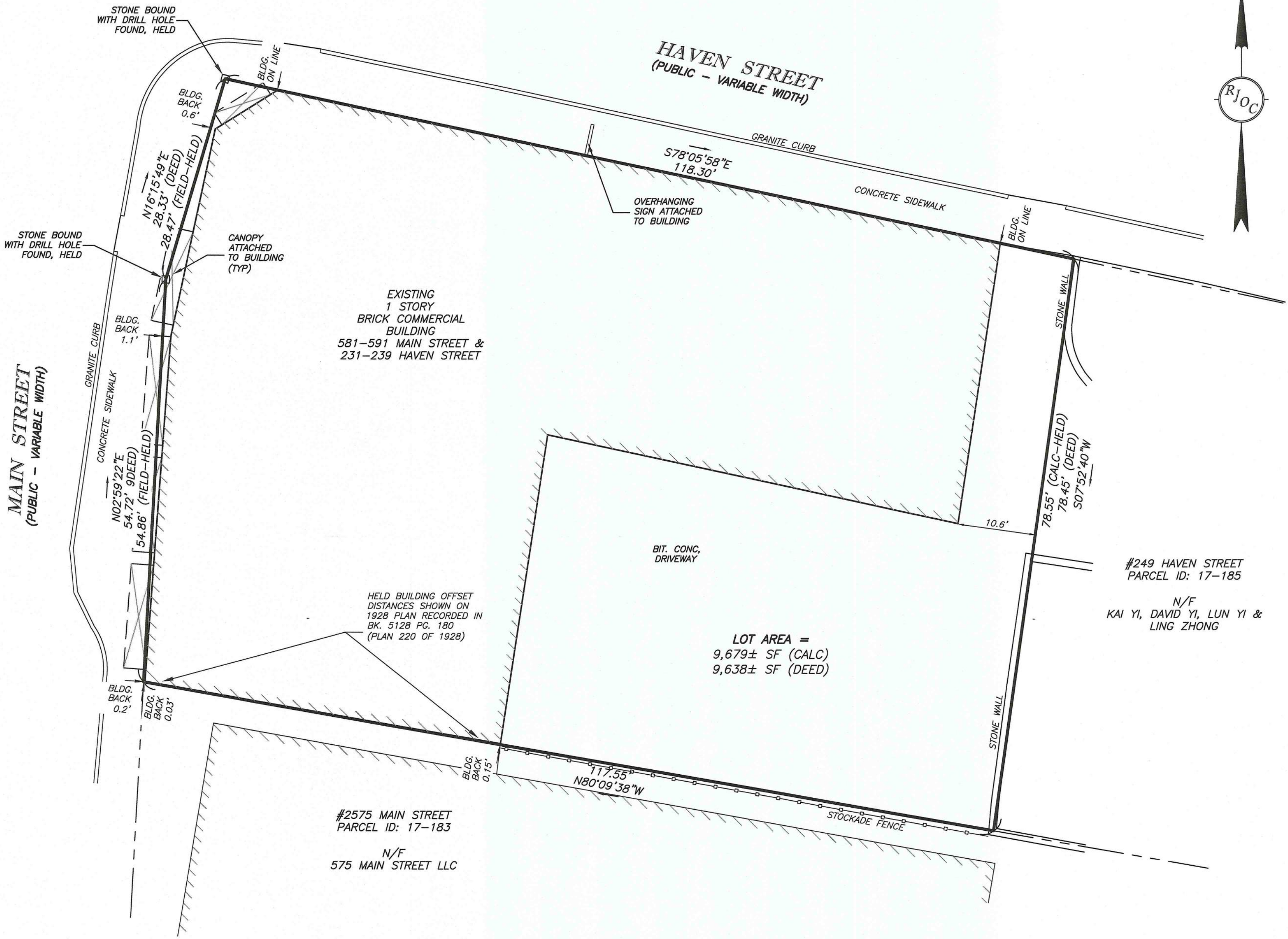
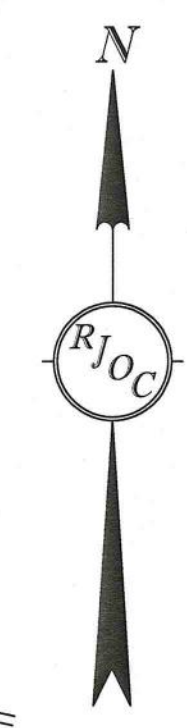


Matthew Lowry 6/10/2022
 PROFESSIONAL LAND SURVEYOR FOR
 RJ O'CONNELL & ASSOCIATES, INC

DRAWN BY: RJK
 REVIEWED BY: ML
 SCALE: 1" = 10'
 FIELD CREW: TDB / EC
 FIELD BOOK: FIELD BOOK 47 / PG. 52
 DATE: 6/10/2022
 REVISED:
 DRAWING NAME:

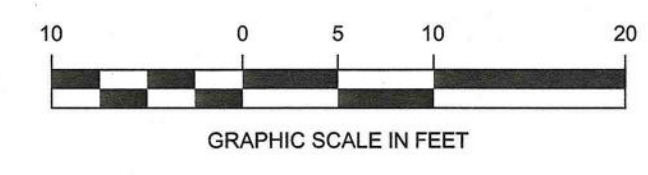
PLOT PLAN

DRAWING NUMBER:
PP-1
 PROJECT NUMBER:
22539
 Copyright © 2022 by R.J. O'Connell & Associates, Inc.

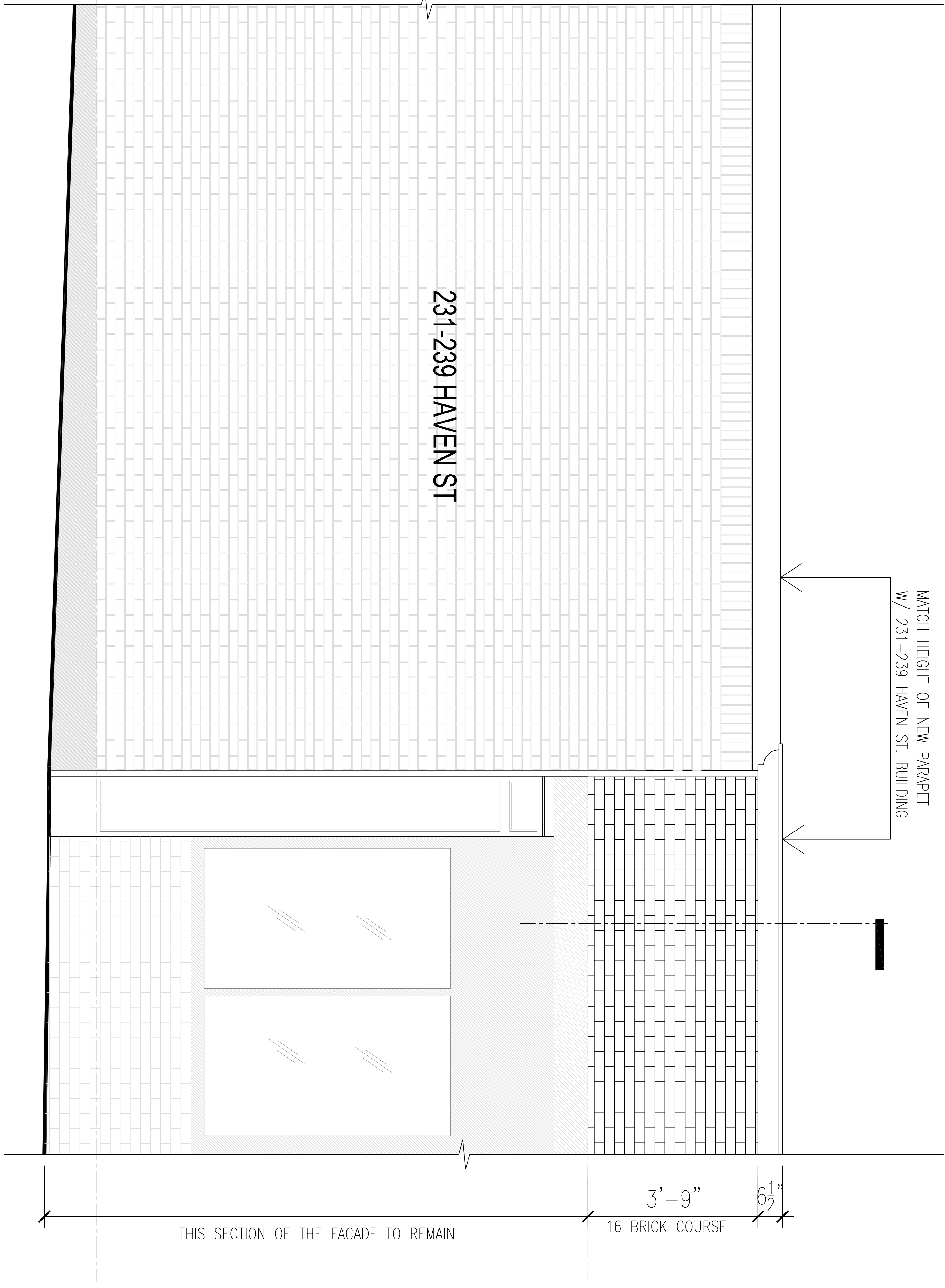


- NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO SHOW THE LOCATION OF THE EXISTING BUILDING AT 581-591 MAIN STREET & 231-239 HAVEN STREET.
 2. ALL DISTANCES FROM EXISTING BUILDING TO LOT LINES ARE SHOWN FROM GRANITE CORNER BLOCK OR BRICK BUILDING CORNERS.
 3. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A REVIEW OF A TITLE SEARCH, A LIMITED SEARCH OF AVAILABLE RECORDS WAS PERFORMED TO ESTABLISH BOUNDARY LINES. EASEMENT RIGHTS OVER THE SUBJECT PARCEL AND ON ABUTTING PARCELS MAY EXIST BUT ARE NOT NECESSARILY DEPICTED HEREON.
 4. THE HORIZONTAL DATUM IS THE MASSACHUSETTS COORDINATE SYSTEM (NAD83), DATUM WAS ESTABLISHED USING RTK GPS METHODS.

- PLAN REFERENCES:**
 PLAN BOOK AND PAGES REFERENCE THE MIDDLESEX SOUTH REGISTRY OF DEEDS
1. 1966 PLAN NO. 701
 2. 1894 PLAN BOOK 84 PLAN 22A-B
 3. 1963 PLAN NO. 32496A
 4. 1964 PLAN NO. 31013A
 5. 1967 PLAN NO. 35399A



Drawing Name: C:\MA\Reading\JMS Masonry\583 Main st\Survey\DWG\22539_plot_plan.dwg



PROPOSED ELEVATION
3/4" = 1'-0"

SCOPE OF WORK:

Contractor is to inspect the inside walls for any water damage or rust on the steels. If found the damage area is to be restored to insure the foundation is sound. All steels shall be flashed using an ice/water rubber membrane with weep holes added for any trapped moisture to escape.

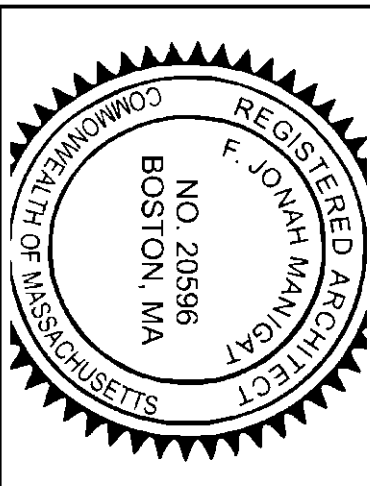
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F. JONAH MAINGAT
08/22/2022



Town of Reading
16 Lowell Street
Reading, MA 01867

Andrew MacNichol
Senior Planner
Phone: 781.942-6670
Fax: 781.942-9071
Website: www.readingma.gov

November 7, 2022

CPDC SIGN REVIEW

Certificate of Appropriateness

Project/Applicant: 77 Haven Street – Rocco’s Hair Salon

On November 7, 2022, the Community Planning and Development Commission (CPDC) took the following action with respect to an application dated October 25, 2022 by FASTSIGNS of Woburn, on behalf of Rocco’s Hair Salon, for a business located at 77 Haven Street:

“We, the Reading Community Planning and Development Commission, do hereby vote XXX to **approve** the application for a Certificate of Appropriateness as reviewed on November 7, 2022, for the installation of signage related to a business at 77 Haven Street, subject to the Findings and Conditions below.”

Materials Submitted:

The following materials were submitted into the public record:

- a) Application for Sign Permit, dated 10/25/22;
- b) Colored rendering of the proposed signage as it relates to the building elevations, prepared by FASTSIGNS of Woburn, received 10/25/22;
- c) Draft Certificate of Appropriateness, dated 11/7/22.

Findings:

1. The site is located within the Business-B Zoning District. Signs within the Business-B Zoning District are subject to approval by the Community Planning and Development Commission.
2. The Applicant is seeking to replace and install a new wall sign on the building’s western façade fronting Haven Street.
3. The proposed wall sign shall:
 - Measure 5’10” long X 1’4.5” wide for a total area of 8 square feet;
 - Consist of 2” thick satin finished stainless-steel lettering with ½” matte acrylic material colored black. The lettering is spaced 1.5” off of the building facade, for a projecting total of 4”;
 - Be illuminated through Halo-Lit white LED fixtures. Opaque aluminum facing and siding shall shield the light source from visibility on Haven Street. The LED lighting shall project backwards onto the façade of the building; and,
 - Be stud mounted on the building’s western façade fronting Haven Street;

Conditions:

1. Prior to the issuance of a Building Permit the Applicant shall submit a revised Sign Permit Application depicting the correct width and square footage of the wall sign;
2. If any tenant window signage is applied in the future, it must comply with Zoning Bylaw Section 8.5.1(d).
3. The sign shall be designed and installed in the style, materials and colors depicted on the documents submitted and approved herein by the Commission. Should the design need to deviate substantially from what is approved, the applicant may need to return to CPDC.
4. The Applicant shall obtain any necessary Building Permits and Electrical Permits prior to the installation of the proposed signage.

Signed as to the accuracy of the vote as reflected in the minutes:

Andrew MacNichol, Senior Planner

Date

Cc: Applicant, Town Clerk, Building Inspector, planning file

25 HAVEN ST.

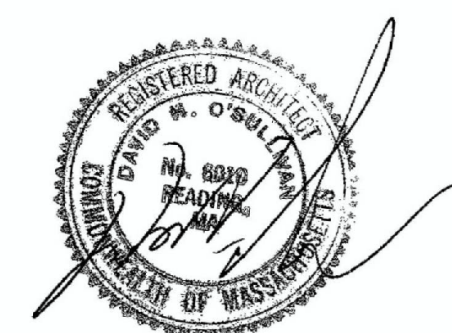
READING, MA



SUBMISSION DRAWING LIST

REVISED: 10/24/2022

A0.01	PROJECT DATA SHEET
A1.01	GROUND FLOOR PLAN
A1.02	SECOND FLOOR PLAN
A1.03	THIRD FLOOR PLAN
A1.04	FOURTH FLOOR PLAN
A1.05	ROOF PLAN
A3.01	ELEVATIONS
A3.02	ELEVATIONS
A3.10	PERSPECTIVES
A3.11	PERSPECTIVES
A3.12	PERSPECTIVES
A4.01	SECTIONS

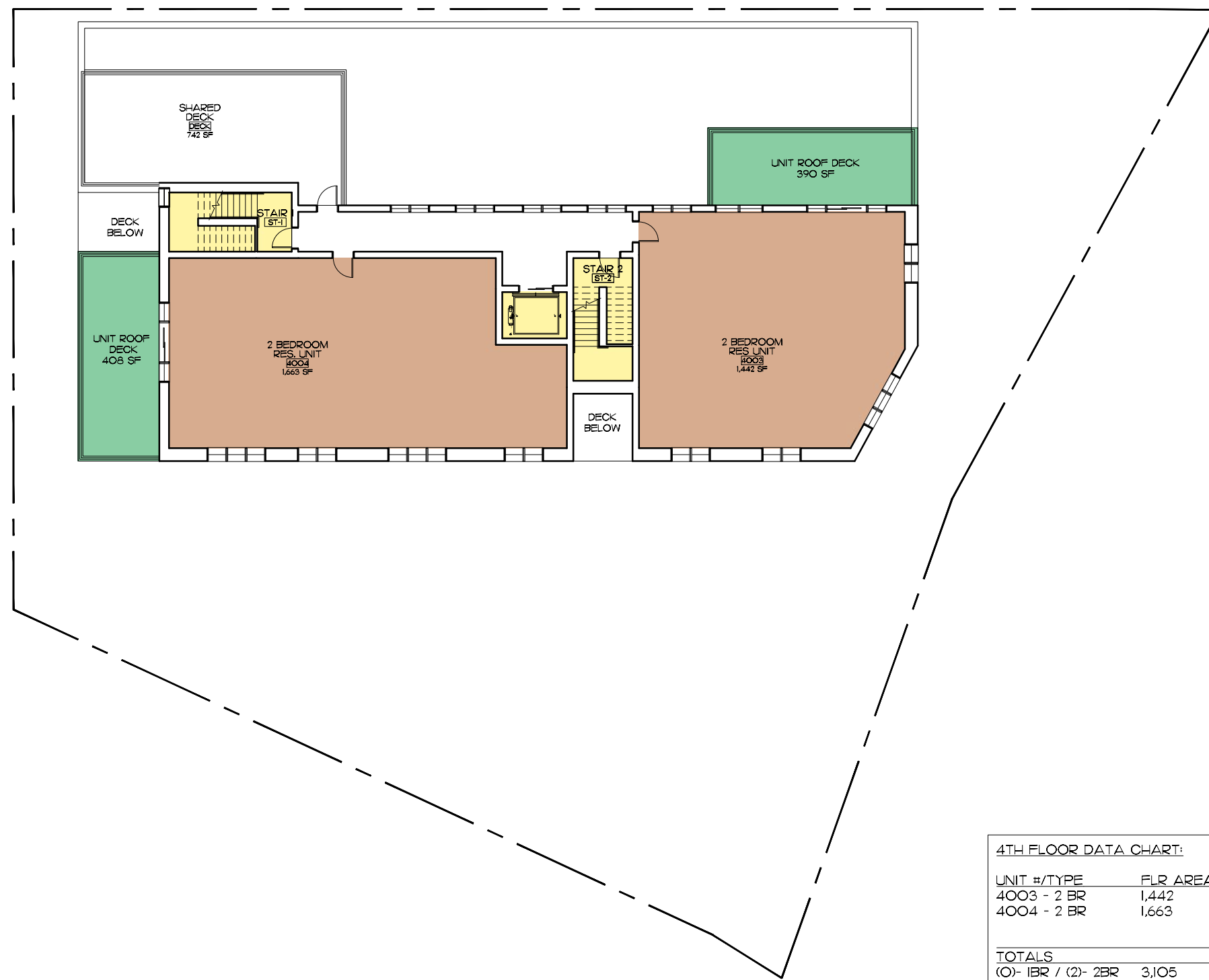


ARCHITECT
O'SULLIVAN ARCHITECTS
606 MAIN STREET, SUITE 3001
READING, MA 01867-3009
Voice: (781) 439-6166
Fax: (781) 439-6170

DEVELOPER
25 HAVEN STREET LLC
611 SALEM STREET
WAKEFIELD, MA 01880
Voice: (781) 572-3033

PERMITTING ATTORNEY
LATHAM LAW OFFICES LLC
643 MAIN STREET
READING, MA 01867-3009
Voice: (781) 942-4400
Fax: (781) 989-3239

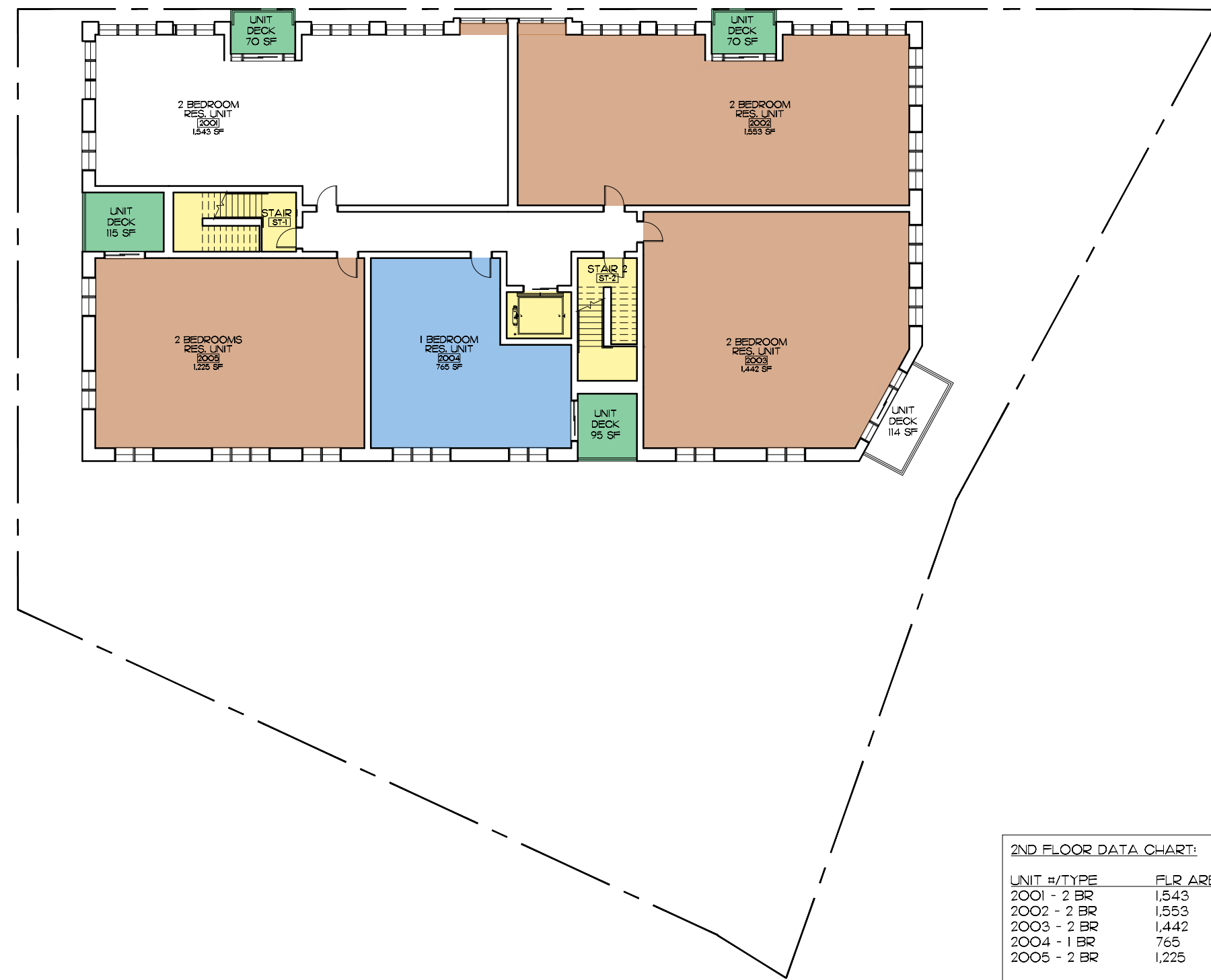
CIVIL ENGINEER
HAYES ENGINEERING
303 SALEM STREET
WAKEFIELD, MA 01880
Voice: (781) 246-2800
Fax: (781) 246-7596



4TH FLOOR DATA CHART:

UNIT #/TYPE	FLR. AREA NET SF	OPEN SP. SF
4003 - 2 BR	1,442	390
4004 - 2 BR	1,442	406
TOTALS		
01- 1BR / 02- 2BR	3,105	798

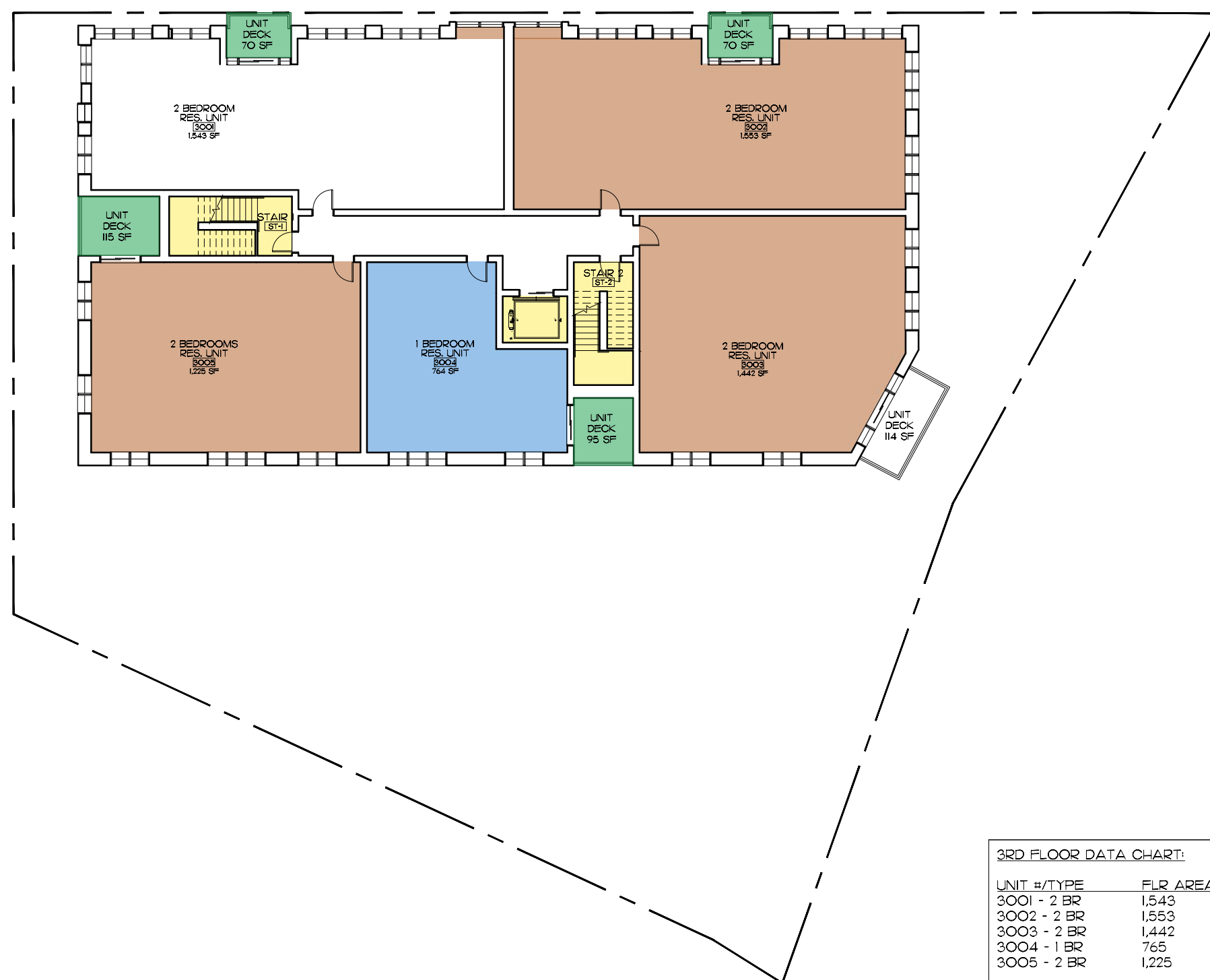
4 FOURTH FLOOR
Scale: 1 to 20



2ND FLOOR DATA CHART:

UNIT #/TYPE	FLR. AREA NET SF	OPEN SP. SF
2001 - 2 BR	1,543	70
2002 - 2 BR	1,553	70
2003 - 2 BR	1,442	114
2004 - 1 BR	765	95
2005 - 2 BR	1,225	115
TOTALS		
01- 1BR / 04- 2BR	6,528	464 SF

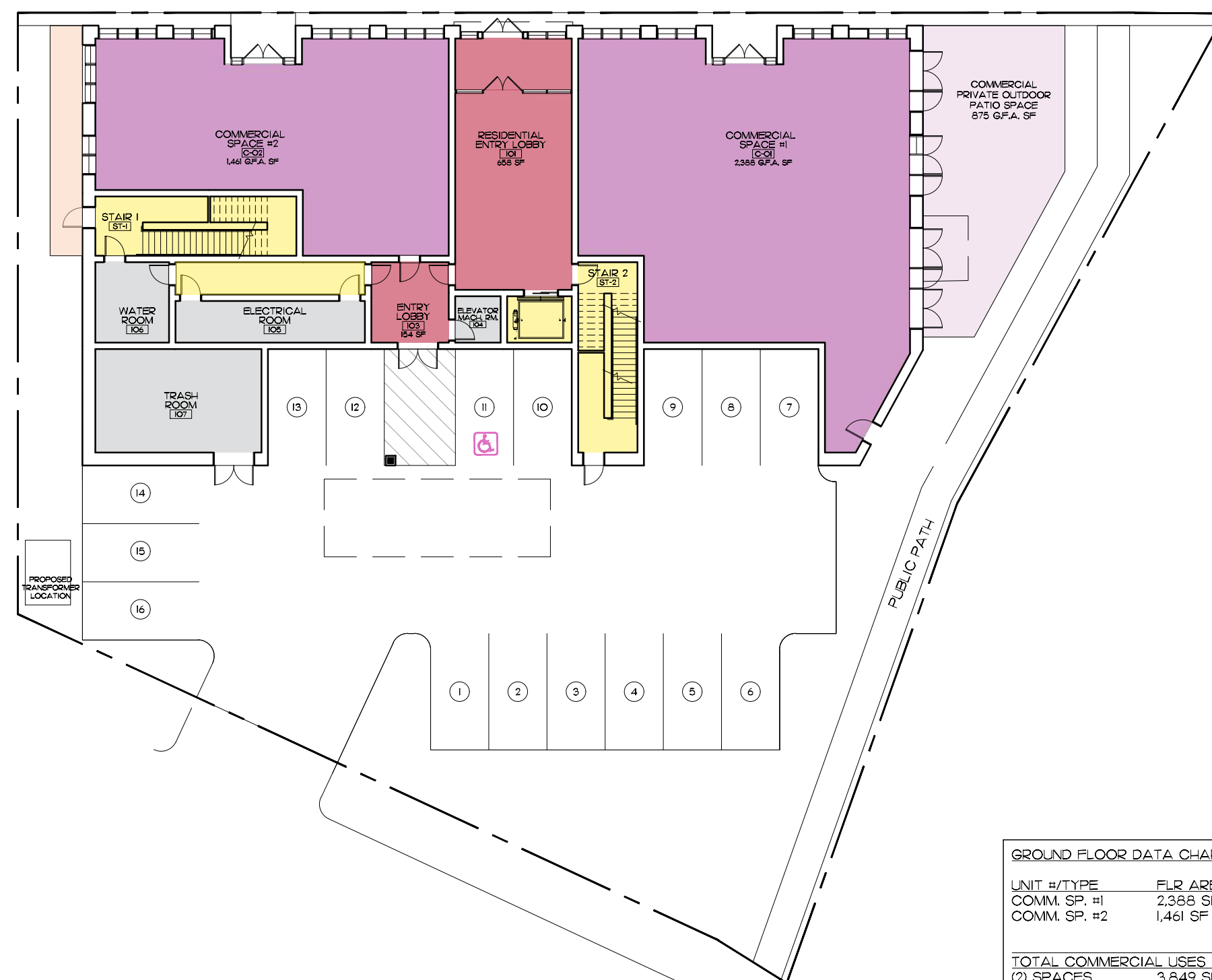
2 SECOND FLOOR
Scale: 1 to 20



3RD FLOOR DATA CHART:

UNIT #/TYPE	FLR. AREA NET SF	OPEN SP. SF
3001 - 2 BR	1,543	70
3002 - 2 BR	1,553	70
3003 - 2 BR	1,442	114
3004 - 1 BR	765	95
3005 - 2 BR	1,225	115
TOTALS		
01- 1BR / 04- 2BR	6,528	464 SF

3 THIRD FLOOR
Scale: 1 to 20



GROUND FLOOR DATA CHART:

UNIT #/TYPE	FLR. AREA NET SF	OPEN SP. SF
COMM. SP. #1	2,358 SF	875
COMM. SP. #2	1,461 SF	0
TOTAL COMMERCIAL USES		
(2) SPACES	3,819 SF	875
TOTAL COMMERCIAL SPACE ON SITE	4,774 SQ. FT. VS. GROSS FL. AREA	
RESIDENT LOBBY	658 SF	
TOTAL FLOOR AREA NET (INCLUDING GARAGE)	8,637 SF	
PUBLIC USE OPEN SPACES		1,308 SF
PRIVATE AMENITY OPEN SPACES		3,392 SF
GROUND LEVEL OPEN SPACE		
TOTAL OPEN SPACE		5,575 SF
PARKING	16 PROVIDED (1.33 PER UNIT)	

1 GROUND FLOOR
Scale: 1 to 20

TOTAL BUILDING DATA CHART:

EXISTING BUILDING SIZE: +/-7,953 SF COMMERCIAL USE
EXISTING BUILDING PARKING COUNT: 18 SPACES

NEW BUILDING:

ITEM	TOTAL FLR. AREA NET SF
GROUND	8,637
SECOND	8,416
THIRD	8,416
FOURTH	4,540
TOTAL	30,009 SF

FAR: 1.58 (+/-18,935 LOT AREA)

LOT COVERAGE: 13,070 SF (69%)
(INCLUDES SURFACE PARKING)

HEIGHT: 44' PROVIDED (45' ALLOWED)

SETBACKS -
FRONT: 2' (0' MIN - 10' MAX)
SIDE: 10' & 16' MIN. (15' ALLOWED)
REAR: NA OR 25' MIN. (15' ALLOWED)
(REAR & SIDE 15' WHEN ADJUTING RESIDENT USE/ZONE)
CUMULATIVE: 53' PROVIDED

PARKING: 16 PROVIDED (1.33 PER UNIT)

OPEN SPACE -

FLR	PRIVATE	GREEN
1	875	4,700
2	464	
3	464	
4	798	
SUB-TOTAL:	2,601	4,700
TOTAL	7,301 SF (608 SF/UNIT)	

UNIT DENSITY PER ACRE: (20 PER ACRE REQUIRED)
PROPOSED: 27.9 UNIT/ACRE (*)

(*) WAIVER REQUESTED

TOTAL UNITS: 2 (1-BR) 10 (2-BR) = 12 TOTAL

RELIEF REQUEST CHART

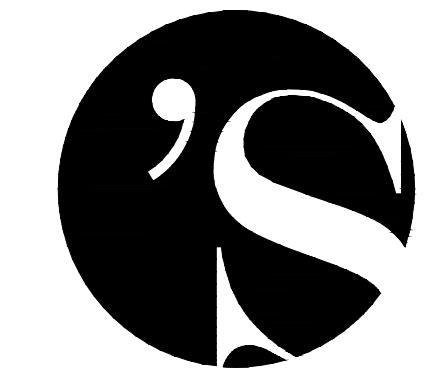
ITEM	REQUIRED	PROVIDED	RELIEF (Y/N)
MAX FAR	2.8 (MIXED USE)	1.58	N
MIN. LOT FRONTAGE	50'	156'-0"	N
MAX LOT COVERAGE	NA	69%	N
MIN. LOT AREA	NA	+/-18,935	N
MAX. BLDG FRONTAGE	300'	158'-6"	N
YARD SETBACKS:			
FRONT (MIN/MAX)	0'/0'	2'	N
MIN. SIDE	0' (OR 15')	10' /6' MIN.	N
MIN. REAR	0' (OR 15')	25' MIN.	N
INTERIOR BETWEEN BLDGS MIN.	15'	NA	N
DWELLING UNIT PER ACRE	20	27.9	Y
MIN. PARKING	1.25 (15)	1.33 (16)	N

GRAPHIC KEY:

- 2 BR UNIT TYPE
- 1 BR UNIT TYPE
- EGRESS/CIRCULATION
- COMMERCIAL SPACE
- RESIDENT LOBBY
- UTILITY/MECHANICAL SPACE

OPEN SPACE TYPES:

- PRIVATE OPEN SPACE FOR BUILDING TENANT USE
- OPEN SPACE
- SEMI-PUBLIC OPEN SPACE



O'SULLIVAN ARCHITECTS, INC.

ARCHITECTURE ■ INTERIORS ■ PLANNING

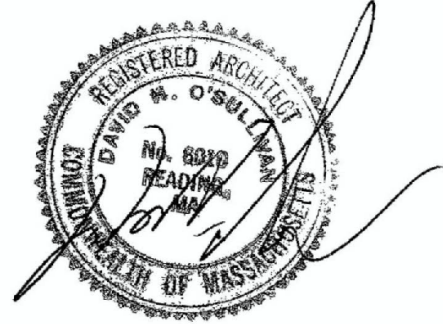
606 MAIN STREET, SUITE 3001
READING, MASSACHUSETTS 01867

Tel: (781) 439-6166 Fax: (781) 439-6170
www.osullivanarchitects.com

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25 Haven Street
Reading, MA

Project Data Page



SCALE: As Noted

ISSUED / DRAWN BY

4/29/2022

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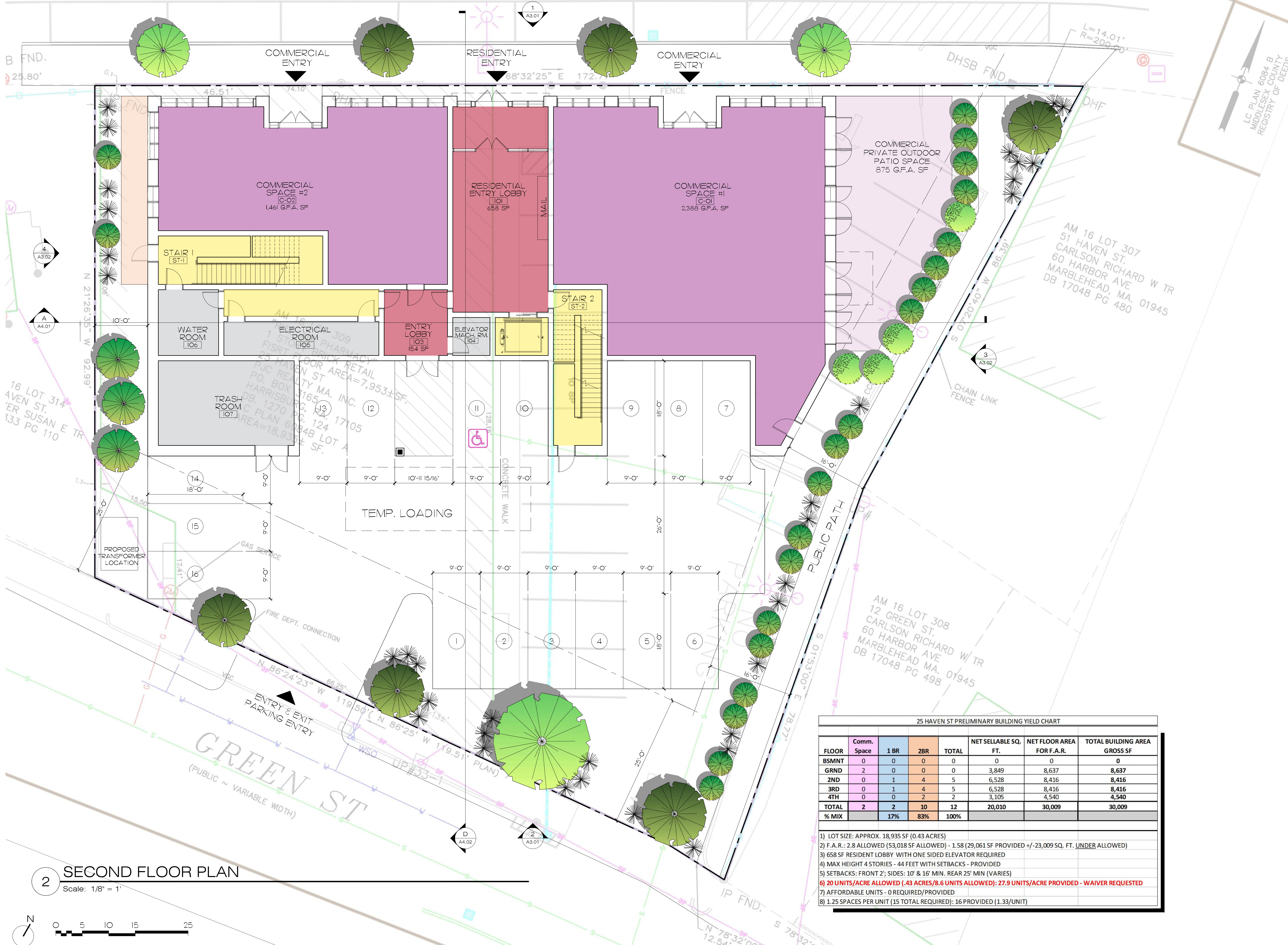
REVISED / REVISED BY

10/24/2022 - REV SUBMISSIONS

JOB NO: 21015

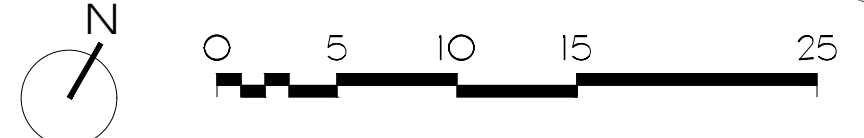
SHEET NUMBER

A0.01



2 SECOND FLOOR PLAN

Scale: 1/8" = 1'



25 HAVEN ST PRELIMINARY BUILDING YIELD CHART

FLOOR	Comm. Space	1 BR	2BR	TOTAL	NET SELLABLE SQ. FT.	NET FLOOR AREA FOR F.A.R.	TOTAL BUILDING AREA GROSS SF
BSMNT	0	0	0	0	0	0	0
GRND	2	0	0	0	3,849	8,637	8,637
2ND	0	1	4	5	6,528	8,416	8,416
3RD	0	1	4	5	6,528	8,416	8,416
4TH	0	0	2	2	3,105	4,540	4,540
TOTAL	2	2	10	12	20,010	30,009	30,009
% MIX		17%	83%	100%			

- 1) LOT SIZE: APPROX. 18,935 SF (0.43 ACRES)
- 2) F.A.R. - 2.8 ALLOWED (53,018 SF ALLOWED) - 1.58 (29,061 SF PROVIDED +/- 23,009 SQ. FT. UNDER ALLOWED)
- 3) 658 SF RESIDENT LOBBY WITH ONE SIDED ELEVATOR REQUIRED
- 4) MAX HEIGHT 4 STORIES - 44 FEET WITH SETBACKS - PROVIDED
- 5) SETBACKS: FRONT 2'; SIDES: 10' & 16' MIN. REAR 25' MIN (VARIES)
- 6) **20 UNITS/ACRE ALLOWED (.43 ACRES/8.6 UNITS ALLOWED); 27.9 UNITS/ACRE PROVIDED - WAIVER REQUESTED**
- 7) AFFORDABLE UNITS - 0 REQUIRED/PROVIDED
- 8) 1.25 SPACES PER UNIT (15 TOTAL REQUIRED); 16 PROVIDED (1.33/UNIT)



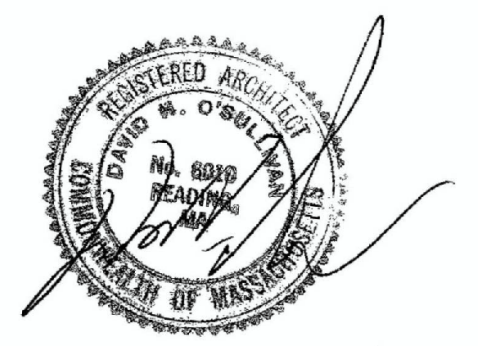
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Ground Floor Plan

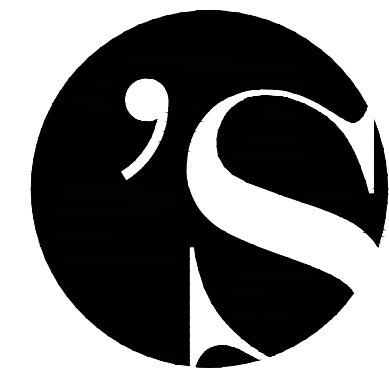


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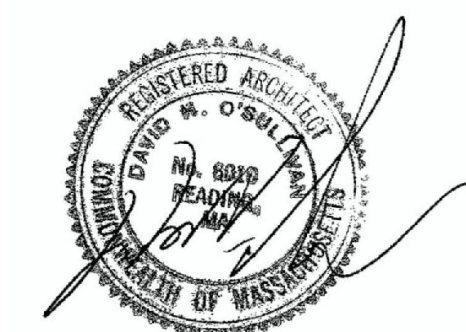
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25 Haven Street
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Second Floor Plan



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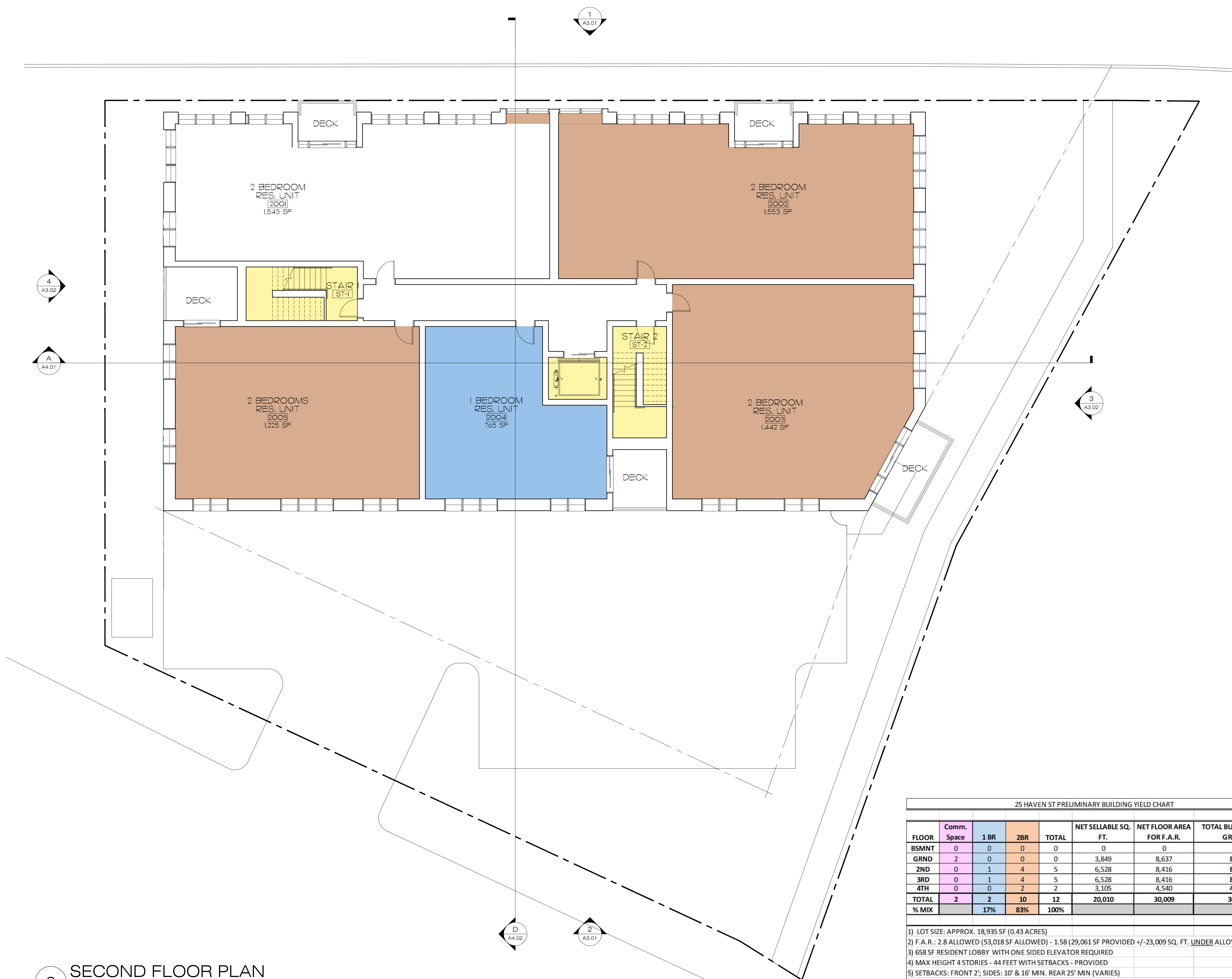
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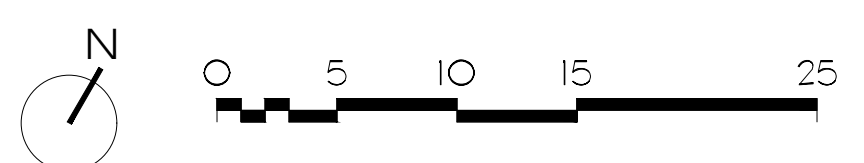


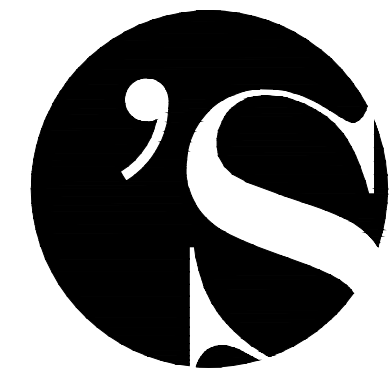
25 HAVEN ST PRELIMINARY BUILDING YIELD CHART							
FLOOR	Comm. Space	1 BR	2BR	TOTAL	NET SELLABLE SQ. FT.	NET FLOOR AREA FOR F.A.R.	TOTAL BUILDING AREA GROSS SF
BSMNT	0	0	0	0	0	0	0
GRND	2	0	0	0	3,849	8,637	8,637
2ND	0	1	4	5	6,528	8,416	8,416
3RD	0	1	4	5	6,528	8,416	8,416
4TH	0	0	2	2	3,105	4,540	4,540
TOTAL	2	2	10	12	20,010	30,009	30,009
% MIX		17%	83%	100%			

- 1) LOT SIZE: APPROX. 18,935 SF (0.43 ACRES)
- 2) F.A.R.: 2.8 ALLOWED (53,018 SF ALLOWED) - 1.58 (29,061 SF PROVIDED +/- 23,009 SQ. FT. UNDER ALLOWED)
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- 7) AFFORDABLE UNITS - 0 REQUIRED/PROVIDED
- 8) 1.25 SPACES PER UNIT (15 TOTAL REQUIRED); 16 PROVIDED (1.33/UNIT)

2 SECOND FLOOR PLAN

Scale: 1/8" = 1'





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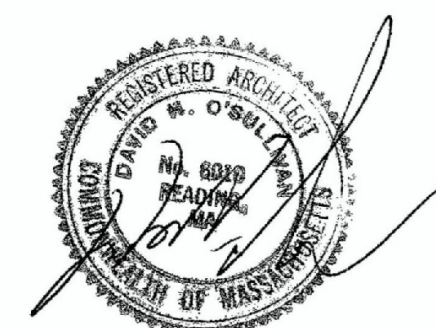
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Third Floor Plan



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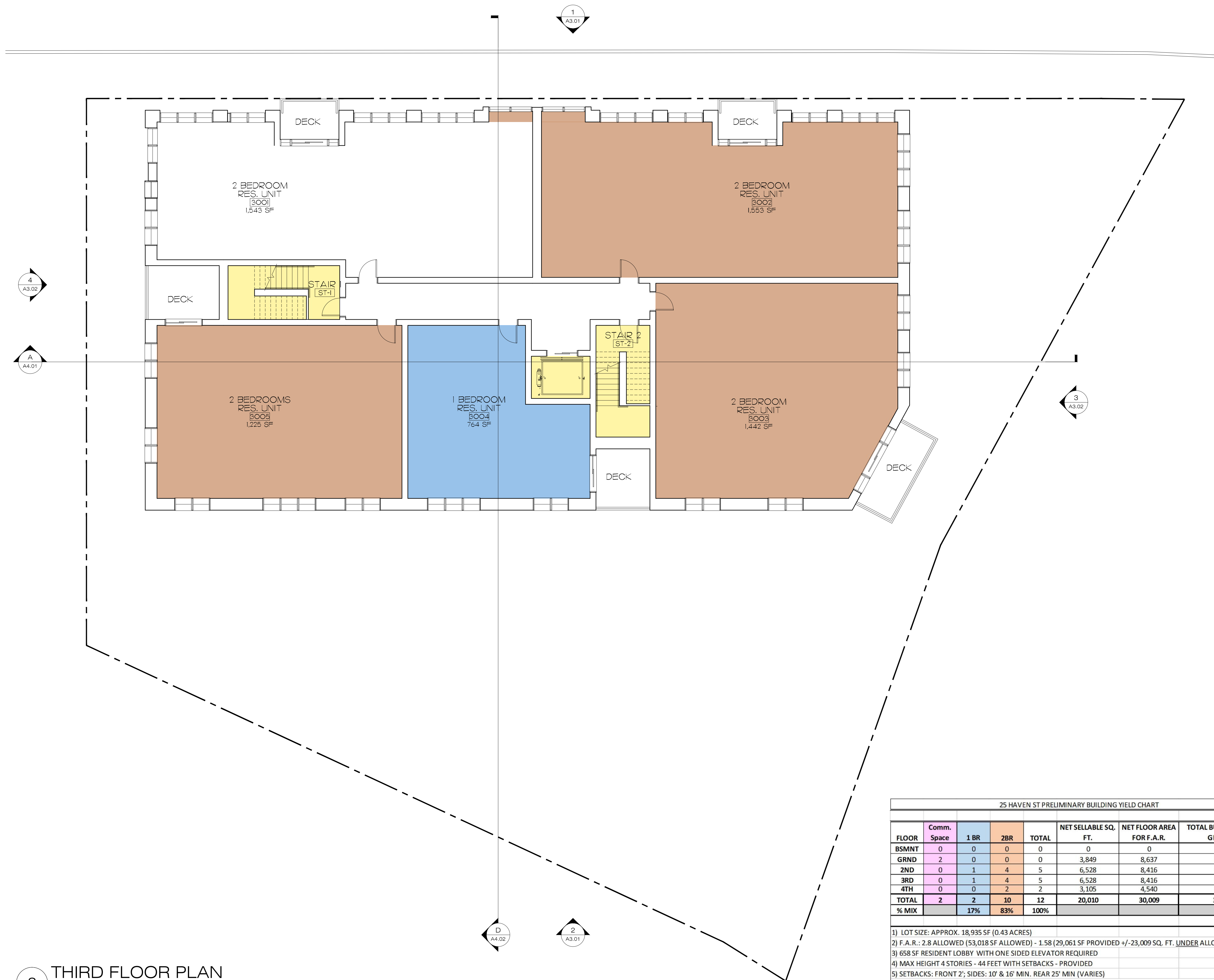
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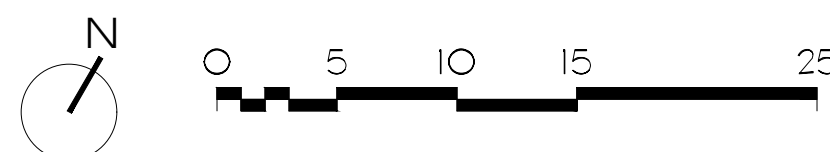


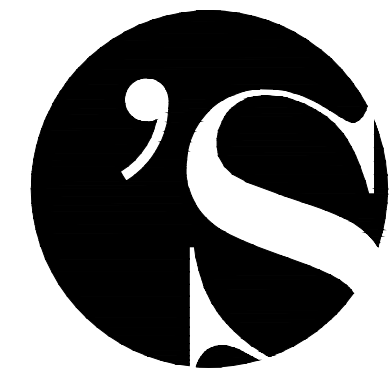
25 HAVEN ST PRELIMINARY BUILDING YIELD CHART							
FLOOR	Comm. Space	1 BR	2BR	TOTAL	NET SELLABLE SQ. FT.	NET FLOOR AREA FOR F.A.R.	TOTAL BUILDING AREA GROSS SF
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GRND	2	0	0	0	3,849	8,637	8,637
2ND	0	1	4	5	6,528	8,416	8,416
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3 THIRD FLOOR PLAN

Scale: 1/8" = 1'





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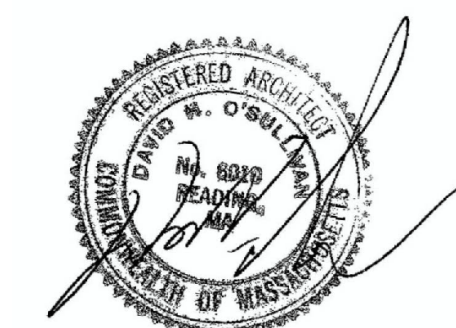
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25 Haven Street
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Fourth Floor Plan



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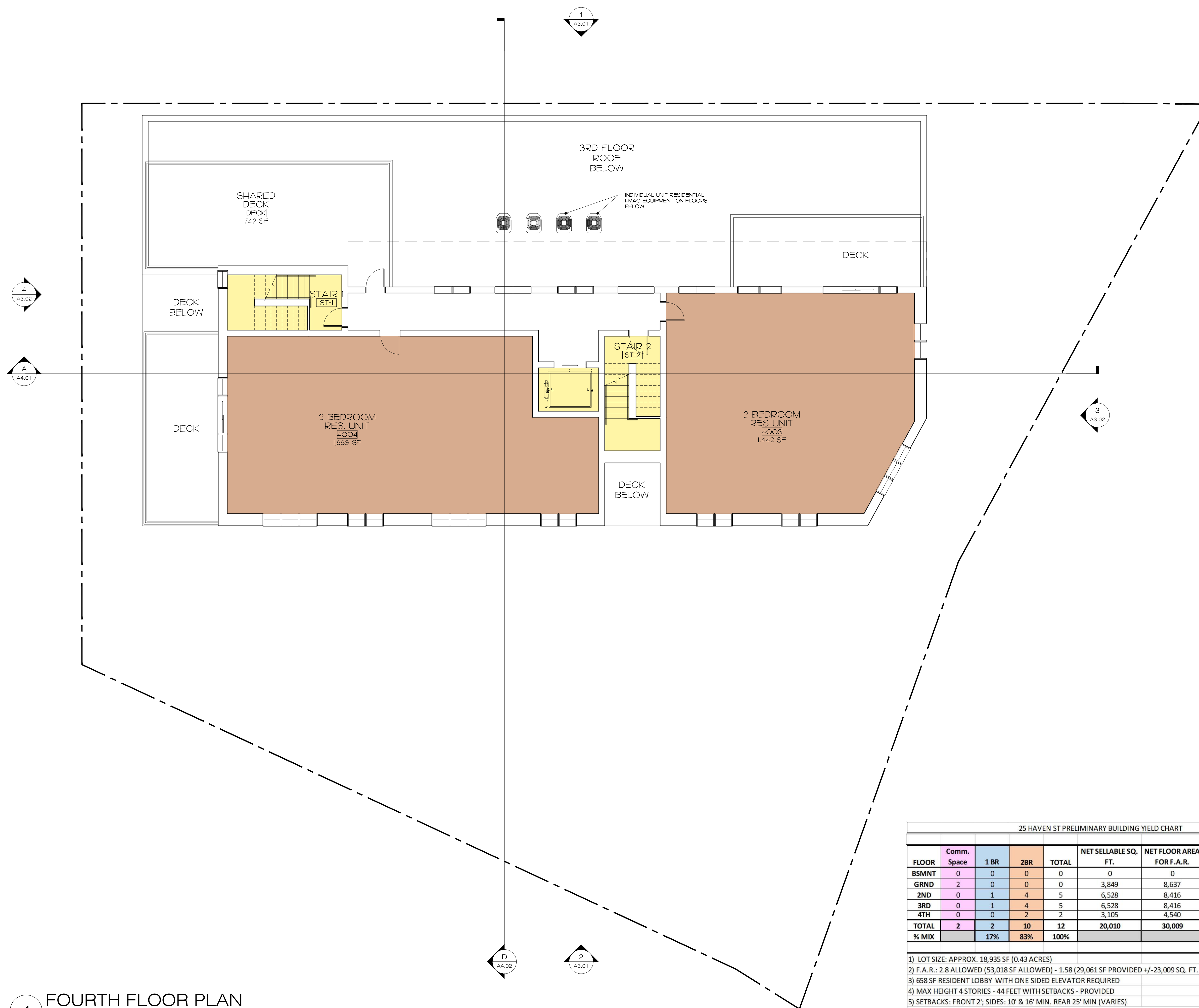
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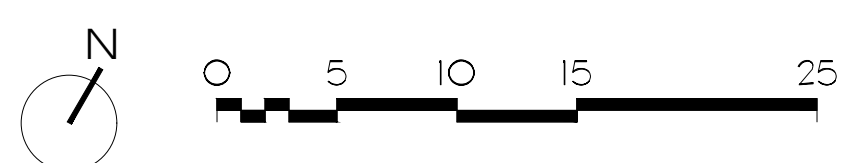


25 HAVEN ST PRELIMINARY BUILDING YIELD CHART							
FLOOR	Comm. Space	1 BR	2BR	TOTAL	NET SELLABLE SQ. FT.	NET FLOOR AREA FOR F.A.R.	TOTAL BUILDING AREA GROSS SF
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TOTAL	2	2	10	12	20,010	30,009	30,009
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4 FOURTH FLOOR PLAN

Scale: 1/8" = 1'





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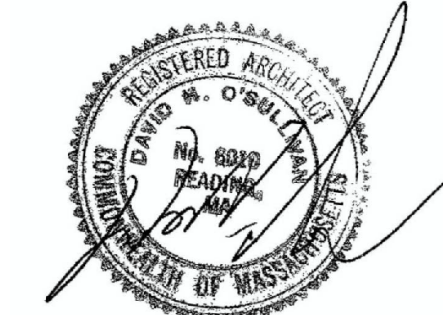
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Roof Level Plan



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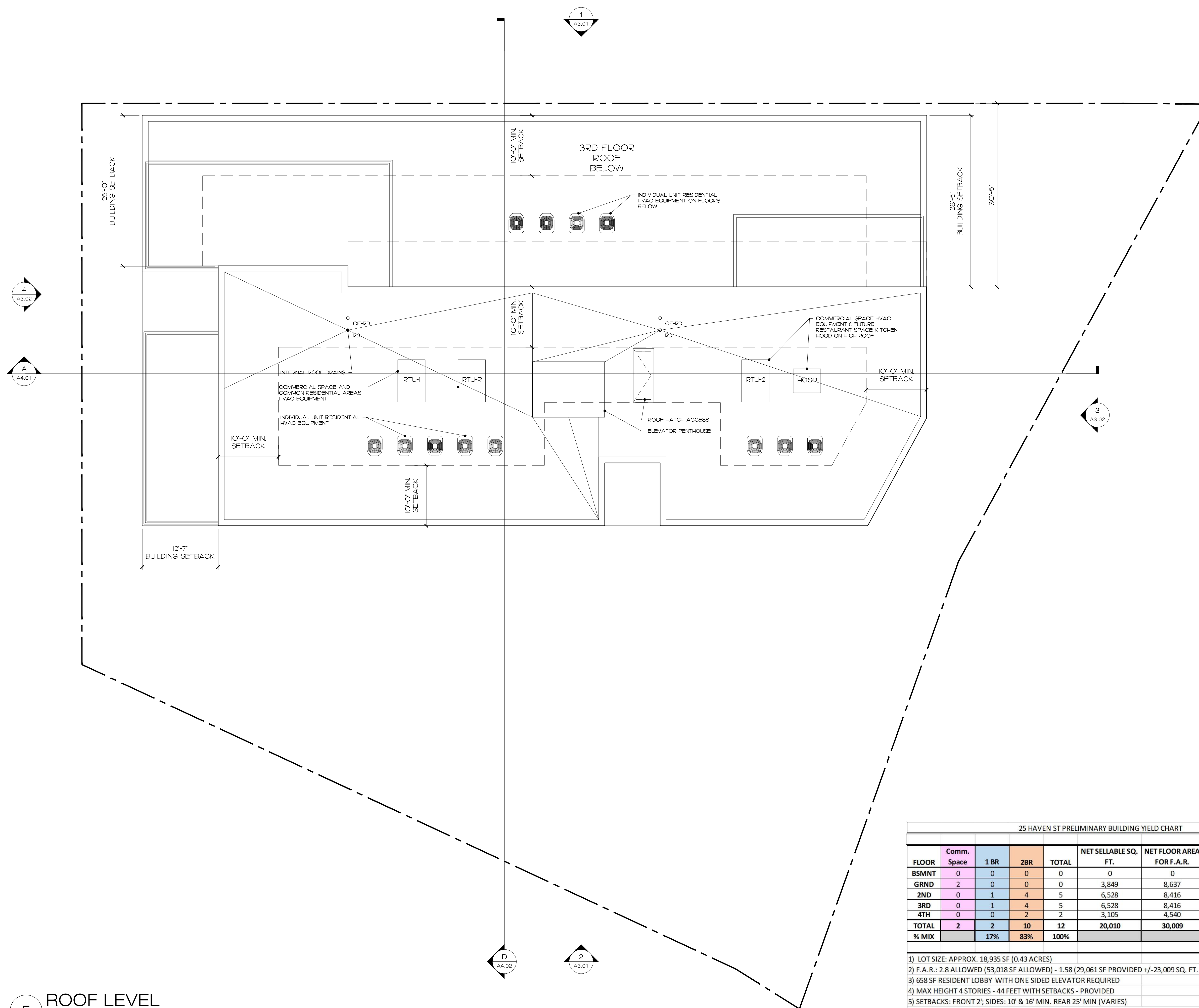
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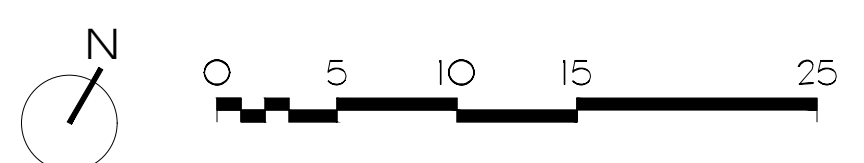
A1.05



25 HAVEN ST PRELIMINARY BUILDING YIELD CHART							
FLOOR	Comm. Space	1 BR	2BR	TOTAL	NET SELLABLE SQ. FT.	NET FLOOR AREA FOR F.A.R.	TOTAL BUILDING AREA GROSS SF
BSMNT	0	0	0	0	0	0	0
GRND	2	0	0	0	3,849	8,637	8,637
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5 ROOF LEVEL
Scale: 1/8" = 1'





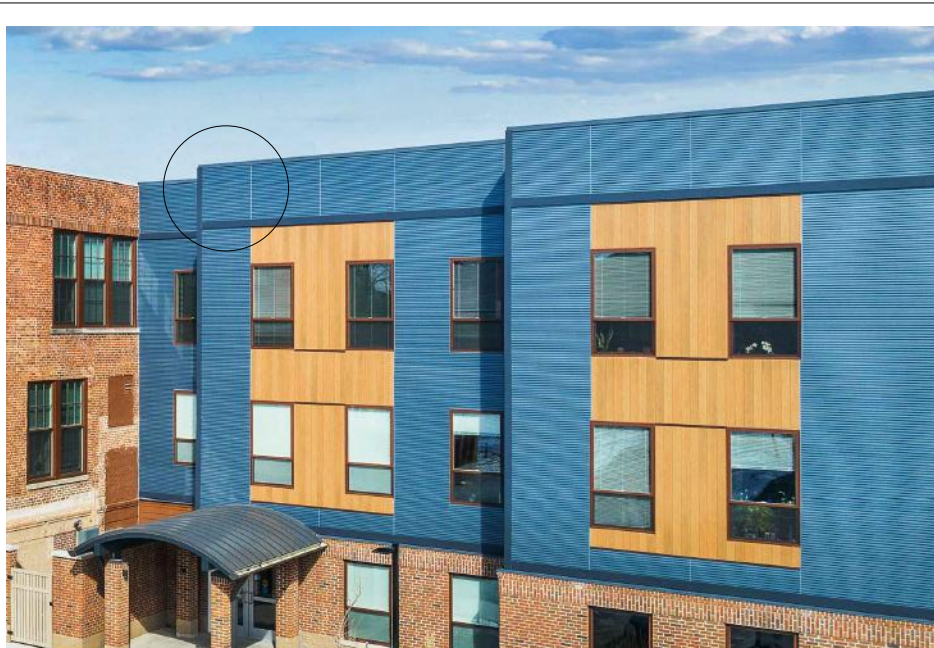
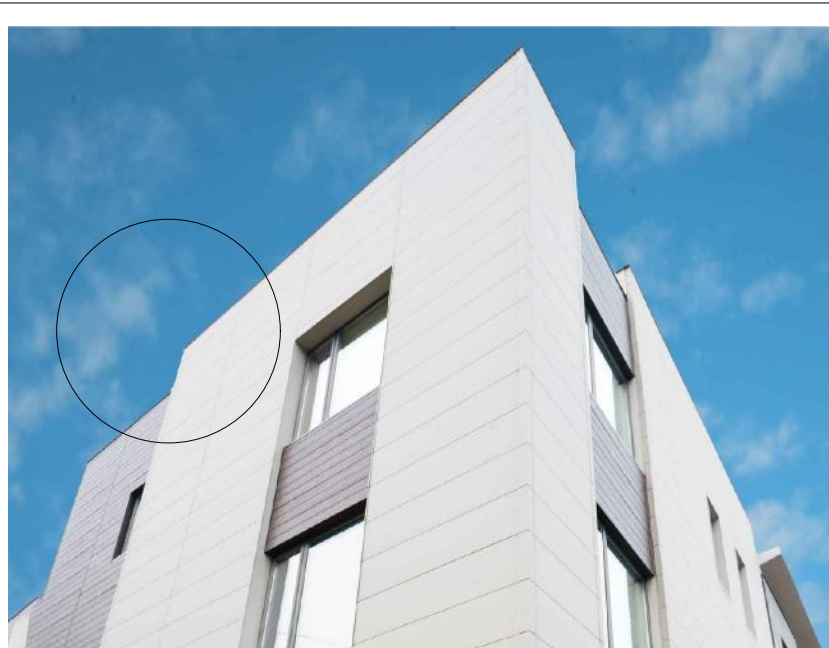
1 FRONT ELEVATION (HAVEN STREET)
Scale: 1/8" = 1'



2 REAR ELEVATION (GREEN STREET)
Scale: 1/8" = 1'

EXTERIOR SIDING FINISHES KEY
(AT UPPER LEVELS)

BASIS OF DESIGN NICHHA PANEL RAIN SCREEN SYSTEMS:
SMOOTH & RIBBED PANEL SYSTEMS
(EXAMPLE PHOTOS ATTACHED)



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Elevations



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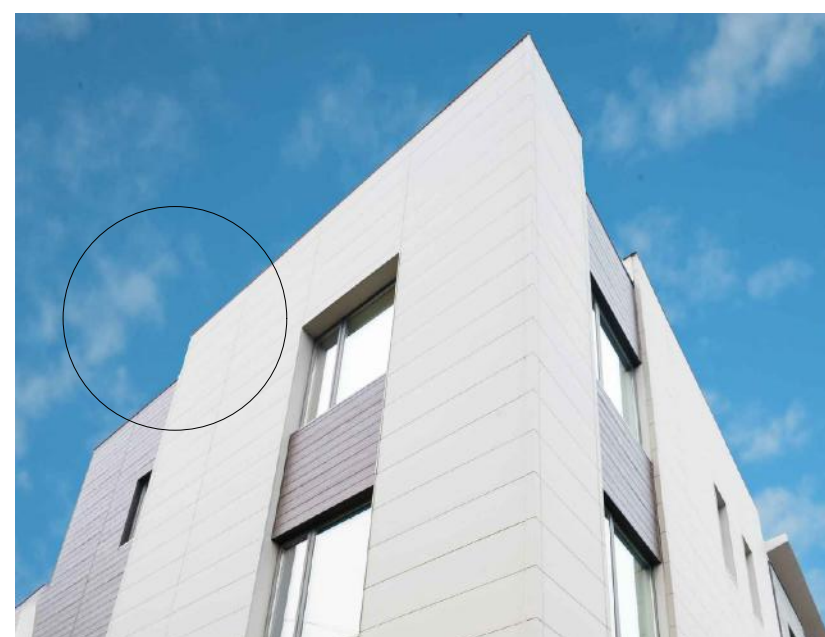
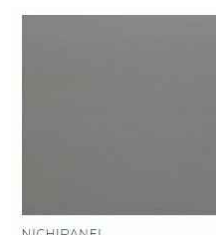
3 LEFT ELEVATION
Scale: 1/8" = 1'



4 RIGHT ELEVATION
Scale: 1/8" = 1'

EXTERIOR SIDING FINISHES KEY
(AT UPPER LEVELS)

BASIS OF DESIGN NICHHA PANEL RAIN SCREEN SYSTEMS:
SMOOTH & RIBBED PANEL SYSTEMS
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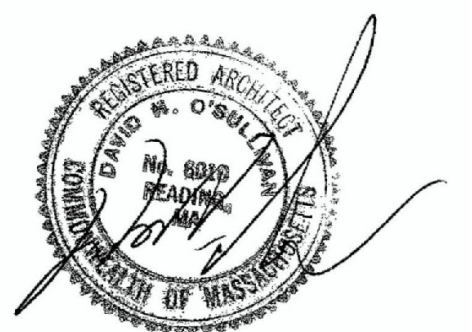
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Elevations



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1 VIEW 1 FROM HAVEN ST.
Scale: N.T.S.



2 VIEW 2 FROM HAVEN ST.
Scale: N.T.S.



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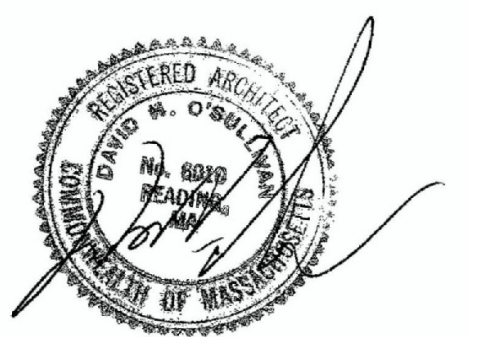
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Perspectives



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A3.10



3 VIEW 3 FROM GREEN ST. @ PUBLIC PATH
Scale: N.T.S.



4 VIEW 4 FROM DEPOT
Scale: N.T.S.



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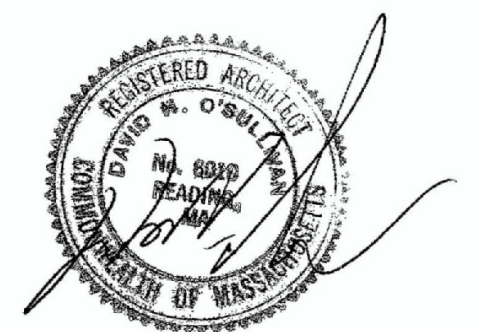
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Perspectives



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5 VIEW 5 WEST SIDE ELEVATION
Scale: N.T.S.



6 VIEW 6 FROM HAVEN
Scale: N.T.S.



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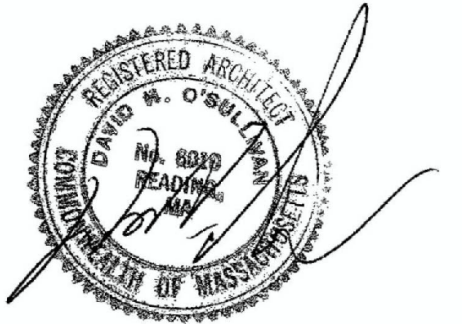
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Perspectives



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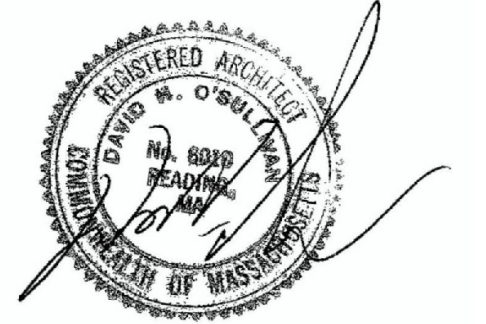
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Sections



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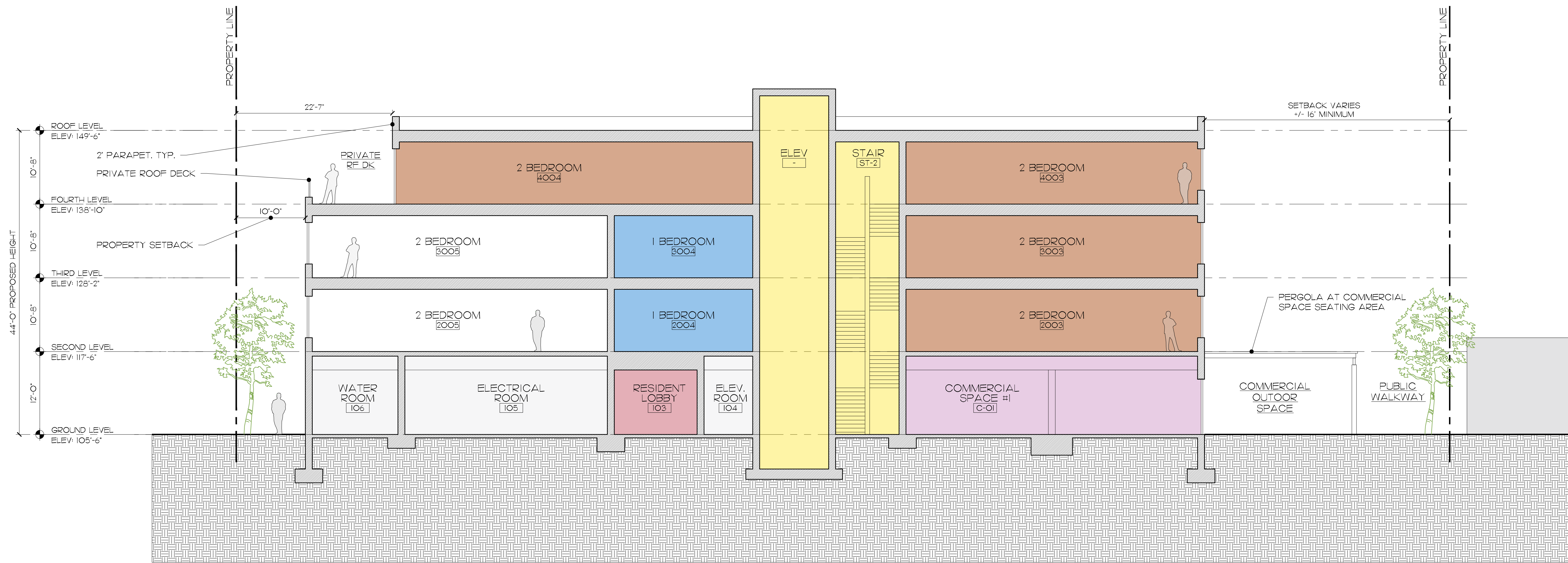
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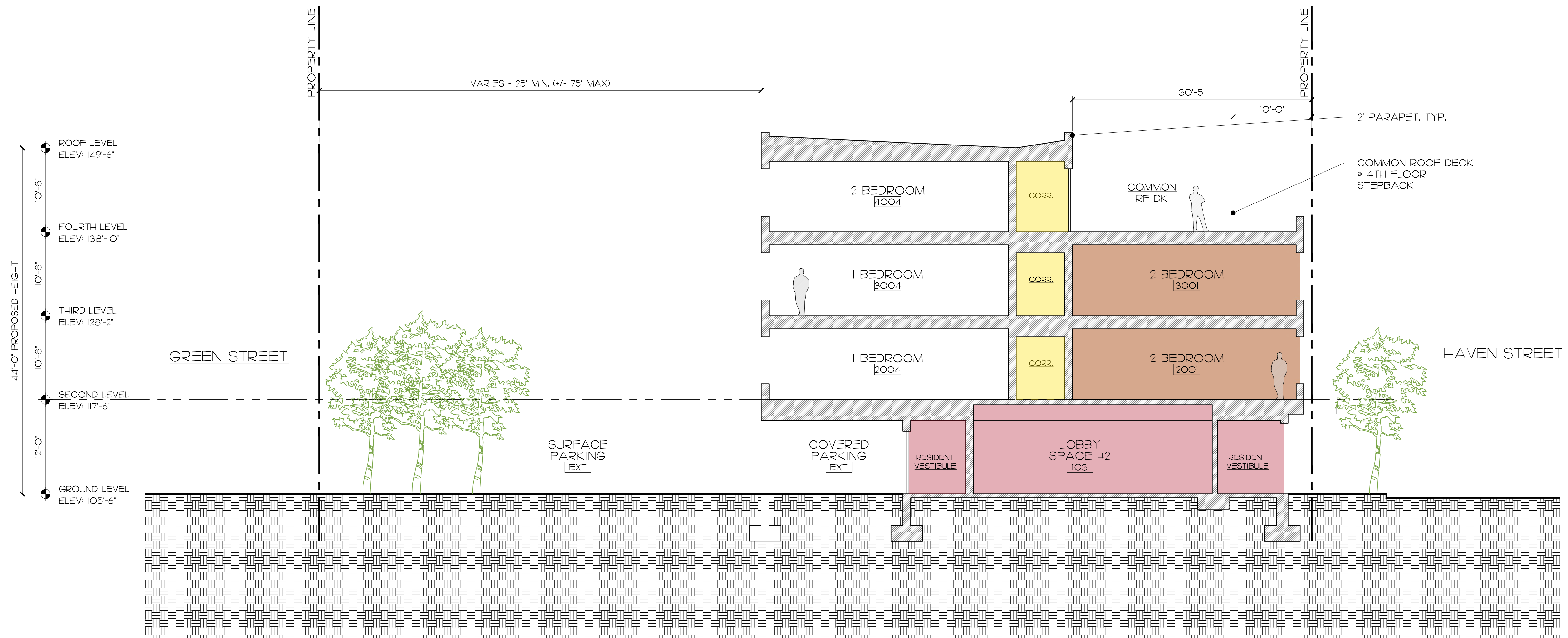
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B SECTION

Scale: 1/8" = 1'



A SECTION

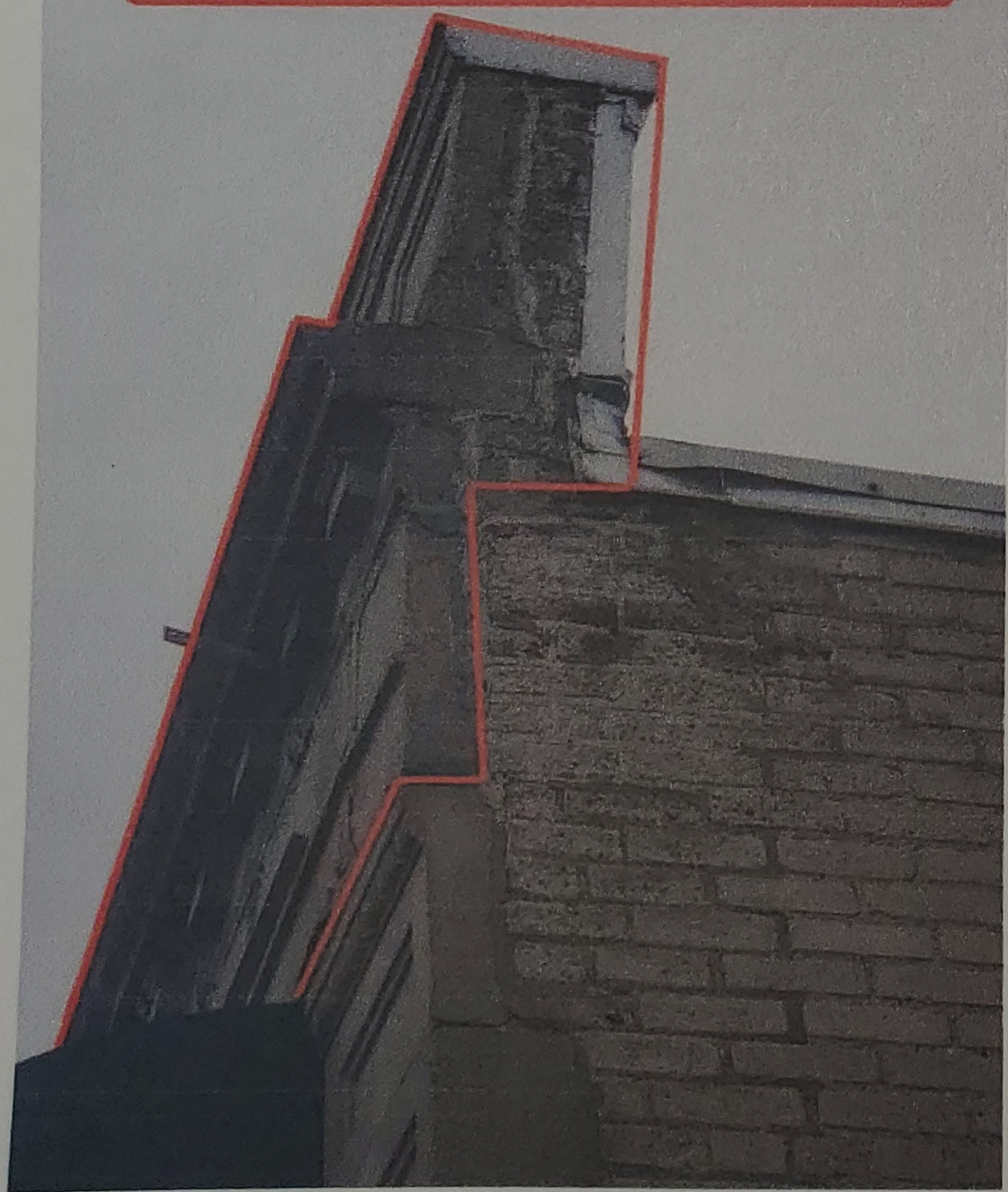
Scale: 1/8" = 1'



REMOVE PARAPET WALL
DOWN TO TOP OF AWNINGS



THIS SECTION OF PARAPET WALL WILL BE REMOVED
ACROSS THE FACE AND THE SIDE OF THE BUILDING





DEMO AND REBUILD PARAPET WALL

FRESH
FISH MARKET

EAT IN / TAKE OUT
781-942-

LIVE
LOBSTER

EN

OPEN

Building of Masonry on the Front

New Masonry will be built from under the roofline using one of three bricks which the owner will pick before we begin. As discussed with the owner it's better to keep everything simple and strong. We will build this parapet wall 3ft above roofline. We will be using wall ties to further strengthen the wall. These ties will be installed every 16 inches on center to provide equal strength throughout the entire masonry wall. There will also be a flashing between both bricks with the flashing on the back one course higher and the weep holes sitting on the outside course to push any moisture out.

Capping of Parapet

We Will be capping the wall using a bluestone.

Existing Stone Piers

All existing stone piers at the lower level will have all masonry joints cut out using angle grinders with vacuums attached so all dust is contained. We will then re-point using a type N cement and fine.

Sealing

After all the masonry has cured we will then apply three coats of a siloxane masonry sealer to further protect the new brickwork from any water damage.

Please see below all the products that will be used on this project.

--

John Screen

Owner

JMS Masonry & Restoration

m. 617-939-5348

Subtotal	\$84,000.00
Total	\$84,000.00

ESTIMATE



George Liakos/ Panagota Flaherty/
Theodoris Gregoris
583 Main Street
Reading, Ma

JMS MASONRY AND RESTORATION LLC

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Estimate # 030379

Date 04/07/2022

Business / Tax # JMS Masonry

Description **Total**

Parapet wall \$84,000.00

Staging

Pipe staging will be erected on the front using walkthrough frames so all pedestrians and business owners can continue as usual. We will add plywood on top of the first lift and keep it tight to the building so that we are sectioned off from all traffic beneath us along with lighting so the area is seen at night for safety. We will have the staging one frame higher than the building with dust nets added to contain all debris and dust to a confined area. All trash will be removed and dumped everyday and staging cleaned everyday. We do not leave trash on jobs!

Roofing

10ft from the existing rubber roof will be cut back and removed in order for the work to be performed from both sides. We will cover the roof using temporary rubber every evening after the work day has ended. Once all the new masonry has been built our roofer will then install new permanent rubber that will attach to our new masonry and leave it water tight.

Demolition

All demolition will be done with precision to ensure the safety of our workers and also the pedestrians. We will be removing a set amount each day that will be marked out by me personally and performed under my watch. The amount that is demolished each day will also be dumped that same day we will not allow debris or trash to accumulate. We will be removing the parapet wall roughly 16 inches below roof line or to where the relieving angle iron is set. We will inspect the angle iron to see if it can be reused and flashed. if i find that its no longer structurally sound it will be replaced with a new dipped steel.

Preparation For New Masonry

Before any brickwork begins we will be inspecting the inside walls for any water damage or rust on the steels that if found will be restored insuring that our foundation before we begin building is correct. All steels will be flashed using an ice/water rubber membrane with weep holes added for any trapped moisture to escape.